

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

CITY OF WEST HOLLYWOOD
COMMUNITY DEVELOPMENT DEPARTMENT

CONDITIONS OF APPROVAL
DEMOLITION PERMIT 013-033,
DEVELOPMENT PERMIT 013-053
MODIFICATION 014-005

723 HUNTLEY DRIVE

SECTION 1. On October 24, 2013, an application was filed by Siavash Jazayeri on behalf of the property owner, Farid & Marjan Mir, to allow the demolition of a duplex and the construction of a two-story, three-unit apartment building with subterranean parking. The subject property is located at 723 Huntley Drive, West Hollywood, California. The application was deemed complete on January 23, 2014.

SECTION 2. Notice of the proposed construction was posted on the site for a period of ten days, beginning on January 24, 2014, and concluding on February 3, 2014. During this period, no comments were received regarding the request.

SECTION 3. This project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to Sections 15332 (In-fill Development) of the CEQA Guidelines given that the project will not have an adverse effect on the environment and the project is consistent with the applicable general plan designation and all applicable general plan policies. In addition, the project complies with the applicable zoning regulations. Furthermore, the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as a habitat for endangered, rare or threatened species because the project is to be built on an already disturbed site in a highly urbanized area; approval of the project would not result in any significant effects relating to traffic, noise, air quality or water quality due to the small scale of the project; and the site can be adequately served by all required utilities and public services.

SECTION 4. In accordance with Section 19.50.050 of the West Hollywood Municipal Code, the Director of Community Development of the City of West Hollywood hereby makes the following findings regarding Demolition Permit 013-33:

- a. With approval of this resolution, all other applications for discretionary permits necessary for the new project to be constructed on site have been approved with Development Permit 013-053, Modification 014-005.
- b. The duplex at Huntley Drive is not a designated historic resource and is not being formally considered for this designation and is not a historic resource per CEQA guidelines.

- 1.4) The failure to comply with any of the conditions of approval shall be grounds for revocation of the permit pursuant to a public hearing. The applicant and/or property owner shall be responsible for all application and noticing fees at the time of such a hearing. Reimbursement of enforcement costs shall constitute a civil debt and may be collected by any means permitted by law. In the event that violations of this permit occur, the City shall refrain from issuing further permits, licenses or other approvals until such violation has been fully remedied. (____ Planning)
- 1.5) The applicant shall defend, indemnify and hold harmless the City and its agents, employees and officers from any claim, action, or proceeding brought by a third party against the City, its agents, employees or officers and the applicant to attack, set aside, or void any part of this permit or any permit authorized hereby for the project, including (without limitation) reimbursing the City its actual attorneys fees and costs in defense of the litigation. (____ Planning)
- 1.6) Construction permits for project shall not be issued until this permit is deemed final based on section 19.62.020 of the Zoning Code. (____ B&S, Planning)
- 1.7) Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
- 1.8) The granting of this determination by the Director of Community Development does not in any way indicate full compliance with applicable provisions of the California Building Code. Any corrections and or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Planning Division for additional review and sign-off prior to the issuance of any permit in connection with those plans.

2.0 PROJECT DESCRIPTION

- 2.1) This approval is for the demolition of an existing duplex and the construction of an approximate 5,360-square-foot, two-story, three-unit apartment building with six subterranean parking spaces on the property located at 723 Huntley Drive. The Director has granted a 10% modification to reduce the size of the required common open space to 180 sq. ft. (____ Planning)
- 2.2) This approval is for those plans date stamped March 13, 2014, which are those plans reviewed and approved by the Community Development Department. The project shall be developed and maintained in substantial conformance with said plans, except as otherwise specified in these conditions of approval. (____ Planning)

3.0 FEES

- 3.1) West Hollywood Municipal Code, Article 19-1, Chapter 19.64, the applicant shall pay a fee equal to \$13.51 per square foot of livable area in each unit being constructed (including all private decks, patios, and balconies), according to the fee schedule established by the City Council. In the event the fee schedule is revised by the City Council prior to obtaining a building permit, the revised fee schedule shall apply. The fee shall be paid prior to issuance of building permits. (____ RSHD)
- 3.2) Prior to issuance of building permits, the applicant shall pay the Transportation Facilities and Programs Fee of \$447.92 x net increase in dwelling units to the City of West Hollywood, or the fee in effect at the time that building permits are issued. (____ Planning)

SECTION 5. In accordance with Section 19.48.050 of the West Hollywood Municipal Code, the Director of Community Development of the City of West Hollywood hereby makes the following findings regarding Development Permit 013-053:

- a. The proposed two-story, 3-unit apartment building is allowed within the subject R2 zone, and as conditioned complies with the intent of all of the applicable provisions of Article 19 of the West Hollywood Municipal Code. Multi-family dwellings and common interest developments are permitted in residential zones with a Development Permit. This application meets all the relevant general standards for property development and the specific standards for multi-family dwellings per Zoning Ordinance Sections 19.36.280 with the exception of a 10 percent modification to the required common open space (180 sq. ft. provided, instead of 200 sq. ft.). The reduction in size is negligible and the area has been designed with amenities for both active and/or passive recreational use by the residents, thus increasing the aesthetic appeal of the area. There are no known Municipal Code violations on the property.
- b. The proposed project can be adequately conditioned so as not to endanger, jeopardize, or otherwise constitute a menace to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed as the project has an exceptional architectural design, meets all zoning ordinance requirements, and has been designed to accommodate the required residential parking on site.
- c. The proposed project is consistent with the goals, policies, and general land uses of the General Plan. Specifically, the proposed construction is consistent with Goal LU-8 (Maintain and enhance residential neighborhoods), which encourages "new development to complement existing buildings – including setbacks, heights, materials, colors, and forms – while allowing flexibility in architectural design and innovation." The proposed 3-unit apartment building has been designed in a cohesive and well executed manner, which compliments the massing and height of the adjacent residential structures.
- d. The 700 block of Huntley is characterized by a variety of building sizes and types from one-story single-family houses to four-story multi-family buildings. On either side of the subject property are two-story multi-family buildings- one is of 60's vintage "dingbat" style and the one on the south is more recent and contemporary in form. The project is also a two-story building with a contemporary design. The massing has three-dimensional interest on all sides and on the front of the building in particular, which makes the building design visually appealing and breaks down the scale of the building. The building is a holistic design with each unit individually recognizable. Each unit has a roof deck which is set back from the property line and two of the three are screened from the neighbors with planters at the edge. The roof deck for the front unit has an additional set back from the property line.

- 3.3) Prior to the issuance of building permits, the applicant shall pay Engineering Plan Check Fees. This includes, but may not be limited to, fee for the review of off-site grading plans, street improvement plans, landscaping plans, construction mitigation plans, dedication plans, and parcel, tentative, and final tract maps. In the event the fee schedule is revised by the City Council, all fees shall be recalculated so that they are based on the revised fee schedule in effect at the time building permits are obtained. (____ Engineering)
- 3.4) Prior to the issuance of building permits, the applicant shall pay Environmental Services Plan Check Fees. This includes, but may not be limited to, fee for the review storm water pollution prevention plans and recycling plans for construction/demolition. In the event the fee schedule is revised by the City Council, all fees shall be recalculated so that they are based on the revised fee schedule in effect at the time building permits are obtained. (____ Environmental Services)
- 3.5) Prior to the issuance of building permits, the applicant shall pay a Waste Water Mitigation Fee of \$75 to offset any net increase in waste water outflow. (____ Planning)
- 3.6) All other development and permit fees shall be paid prior to the issuance of grading and building permits. (____ B&S)
- 3.7) Prior to the issuance of building permits, the applicant shall pay the connecting fee to the Districts' Sewerage System. This connection fee is required to construct an incremental expansion of the Sewerage System to accommodate the proposed project. (____ B&S)
- 3.8) In the event the fee schedule is revised by the City Council, all development fees and exaction fees shall be recalculated so that they are based on the revised fee schedule in effect at the time building permits are obtained. (____ Planning)
- 3.9) Prior to the issuance of building permits, the applicant shall pay the Los Angeles Unified School District Developer Fees. (____ B&S)
- 3.10) Prior to issuance of the Building Permit, the applicant shall satisfy the urban art program requirement in accordance with West Hollywood Municipal Code Chapter 19.38. An amount equal to one percent (1%) of the total building valuation shall be allocated for the acquisition and permanent installation of art on the project site, as approved by the Arts and Cultural Affairs Commission; or, an in-lieu fee in the amount of 1% of the total building valuation shall be paid to the Public Beautification Trust Fund. Prior to the issuance of the Building Permit, either the 1% in-lieu fee must be paid, or a complete Art Plan must be approved by the Arts and Cultural Affairs Commission. (____ Art Liaison)

4.0 BONDS

- 4.1 If at any time applicant fails or refuses to comply with or violates any of the conditions upon demand of City, applicant shall post a cash bond with City in an amount specified by the City to guarantee and secure such compliance in the event of a future violation. City shall have the right to issue a stop work order, which shall not be lifted until the bond is posted; moreover, no other permit of any kind shall be issued unless and until such bond is posted. The bond shall be held by City in an interest bearing account with interest inuring to applicant for as long as compliance with any of the conditions is required. City may, without notice to applicant, fulfill the conditions and draw upon the bond to reimburse the City for any costs or expenses incurred in so doing. This shall be in addition to any other remedy provided under this permit or by law. After three substantial code violations, the City will hire a third party to monitor the site until all of the conditions are brought into compliance. The City may, without notice to the applicant, draw upon the bond to pay the costs of hiring the third party. (____ Code Compliance)

The front of the building is open and inviting to the street with a prominent entry and picture window at the ground floor, open deck on the second floor. The planting at the front is layered, low and inviting with a variety of color and plant type, including a "Tabebuia Ipê" Pink Trumpet Tree which will add color and shade. There is also some screening material at the north side for privacy and for a softened edge at the property line. The common open space area at the rear appears inviting and usable with reasonable access to the tenants. The project appears to use a variety of materials and details that enhance the design. The project will enhance the street and the neighborhood.

SECTION 6. Pursuant to the above findings, the Director of Community Development of the City of West Hollywood hereby approves Demolition Permit 013-033, Development Permit 013-053, and Modification 014-005 subject to the following conditions:

CONTENTS:

- 1.0 Legal Requirements
- 2.0 Project Description
- 3.0 Fees
- 4.0 Bonds
- 5.0 Construction
- 6.0 Building and Safety/Engineering
- 7.0 Landscaping
- 8.0 Design Requirements
- 9.0 Solid Waste and Recycling
- 10.0 Transportation, Parking and Circulation

1.0 LEGAL REQUIREMENTS

- 1.1) This permit shall not be effective for any purpose unless within 90 days of the approval of this permit, a duly authorized representative of the owner of the property has filed with the Department of Community Development, a notarized affidavit accepting all the conditions of this permit. This affidavit shall be recorded with the County Recorder and is binding on all successors. If the applicant is a corporation, then an officer of the corporation duly authorized to bind the corporation shall sign the acceptance affidavit. (____ Planning)
- 1.2) If any provision of this permit is held or declared by a court of competent jurisdiction to be invalid and such invalidation would result in a material change to the obligations of or the benefits accruing to either the City or the applicant hereunder, the Director may declare the permit to be void and the privileges granted hereunder to have lapsed. (____ Planning)
- 1.3) Approval of this permit shall expire twenty-four (24) months from the date of approval by the Director, unless significant construction or improvements or the use authorized hereby has commenced or an extension of the permit has been granted. One or more extensions of time for use inauguration may be requested. No extension shall be considered unless requested at least 30 days prior to the expiration date. (____ Planning)

- 4.2) All proposed public improvements shall be secured by a bond in an amount specified by the City or by some other security instrument approved by the City in an equal amount, prior to issuance of Building Permits. (____ Engineering)
- 4.3) Performance of all the conditions shall be secured and guaranteed by the posting of a bond or by some other security instrument approved by the City in the amount of 10% of the building valuation. The security instrument shall be posted with the City upon applicant's execution of the affidavit accepting these conditions of approval and shall be held until all the conditions have been fulfilled. When a payment is made to the City, it shall be held in an interest bearing account (with interest inuring to the applicant). In the event applicant fails to satisfy any one or more of all the conditions and persists and fails to do so upon written notice from the City, the City may, without further notice, fulfill the conditions and draw upon the document to reimburse the City for any costs or expenses incurred in so doing. This shall be in addition to any other remedy provided under this permit or by law. (____ Finance)
- 5.0 CONSTRUCTION PHASE**
- 5.1) A laminated copy of the conditions of approval shall be posted on-site during the construction phase. (____ B&S)
- 5.2) A sign shall be provided on the construction site with minimum dimensions of four feet by four feet, with lettering no less than two inches in height on a contrasting background, visible and readable from the public right of way stating the following:
 - a) Job site address
 - b) Name and phone number of project owner or owner's representative
 - c) Name and phone number of the general contractor and /or on-site superintendent (both if not the same person).
 - d) Construction hours:
 - Monday through Friday 8:00 AM to 7:00 PM
 - Saturday interior work only 8:00 AM to 7:00 PM
 - No construction activities on Sundays or holidays
 - e) No equipment staging or start-up, material deliveries, or personnel arrivals before 8:00 AM Monday through Saturday.
 - f) To report violations to the City of West Hollywood call the Code Compliance Hotline at (323) 848-6516. (____ B&S)
- 5.3) There shall be an on-site construction manager. (____ B&S)
- 5.4) Sidewalks and streets shall be kept clean and passable during all phases of construction, to the satisfaction of the City Engineer. Temporary sidewalks shall be constructed, or alternative passage for pedestrians shall be provided based on construction, should the existing sidewalk need to be closed during construction. (____ Engineering)
- 5.5) Vehicles hauling dirt or other construction debris from the site shall cover any open load with a tarpaulin or other secure covering to minimize dust emissions. (____ Code Compliance, B&S)
- 5.6) A construction period mitigation plan shall be prepared by the applicant and submitted to the Building Official, City Engineer and the Director of Community Development for approval prior to issuance of a building permit. As applicable, this plan shall:
 - a) Specify the names, addresses, telephone numbers and business license numbers of all contractors and subcontractors as well as the developer and architect.
 - b) List a designated on-site construction manager, with 24-hour contact information to be used only in case of emergency.
 - c) Describe how demolition of any existing structures is to be accomplished.

Permit Date

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles , CA 90034



20230 Wells Drive
Woodland Hills, CA
91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

CONDITIONS OF APPROVAL

10/9/2014

scale:

prepared by: R,d,s

job #: 2013-184

AG-1

- d) Designate the permitted waste haulers and recyclers and include the construction period disposal and recycling plan.
 - e) Indicate where any cranes are to be located for erection and construction.
 - f) Describe how much of the public street, alleyway, or sidewalk is proposed to be used in conjunction with construction.
 - g) Set forth the extent and nature of any pile-driving operations.
 - h) Describe the length and number of any tiebacks which must extend under the property of other persons.
 - i) Provide a drainage plan and describe all BMPs (best management practices) that will be used to prevent construction debris from entering the storm drain system.
 - j) Specify the nature and extent of any dewatering and its effect on any adjacent buildings.
 - k) Describe anticipated construction-related truck routes, number of truck trips, hours of hauling and parking locations.
 - l) Specify the nature and extent of any helicopter hauling.
 - m) State whether any construction activity beyond normally permitted hours is proposed.
 - n) Describe any proposed construction noise mitigation measures.
 - o) Describe construction-period security measures including any fencing, lighting, and security personnel.
 - p) Provide a drainage plan.
 - q) Provide a construction-period parking plan which shall minimize use of public streets for parking. (____B&S, Engineering, Code Compliance)
- 5.7) During the demolition of the building and new construction, the site shall be maintained in a safe manner so as not to threaten the public health, safety, or general welfare. (____Code Compliance, B&S, Engineering)
- 5.8) Mobile food service vendors shall only be permitted to visit the construction site during the permitted hours of construction activities. (____Code Compliance)
- 5.9) Provide a fence with screening, minimum 6'-0" high, around the property prior to start of demolition. (____Code Compliance, B&S, Engineering)
- 5.10) During the demolition of the building and new construction, all Air Quality Management District and State of California requirements, including dust control, shall be met. (____Code Compliance)
- 5.11) In the event of an emergency or disaster, the applicant, or any of the project contractors or subcontractors, shall allow the City to use any heavy equipment associated with the project for the purpose of assisting in emergency or disaster relief efforts. (____Public Safety, B&S)
- 5.12) The Contractor shall reduce the discharge of pollutants in storm water runoff to the maximum extent practicable by the effective implementation of appropriate Best Management Practices, including, but not limited to:
- a) Spills and leaks must be cleaned up immediately.
 - b) Vehicles and equipment must be refueled in a designated area.
 - c) Vehicles and equipment must be washed at a facility that is self-contained, covered, equipped with a clarifier or other pretreatment facility, and properly connected to a sanitary sewer.
 - d) Exposed piles of soil, debris and construction materials must be covered with plastic sheeting or equivalent if rain is predicted.
 - e) Materials must not be stored or deposited on surfaces that drain to streets, storm drains or channels.
 - f) Gravel approaches must be used at ingress and egress points where truck or vehicular traffic is frequent.

- g) Regular self-inspections of structural BMPs must be made to ensure their proper operation.
 - h) Employees and subcontractors must be trained about the causes of storm water pollution and preventative measures. Educational materials are available from the Planning Division. (____Code Compliance)
- 5.13) A sign with a minimum dimension of two feet by two feet, with lettering no less than two inches in height on a contrasting background, visible and readable from the public right of wall shall be posted on the site at least three days prior to the start of demolition/construction stating the following:
- a) Demolition/construction activity on this property is anticipated to begin on (day/date).
 - b) Contact information including name and phone number of project owner or owner's representative
- 6.0 BUILDING AND SAFETY/ENGINEERING**
- 6.1) The subject property shall be served by on-site underground utilities to the satisfaction of the City. (____B&S)
- 6.2) All structures shall conform with the requirements of the City of West Hollywood Building and Safety Division. (____B&S)
- 6.3) The project shall be developed and maintained in compliance with requirements of the Los Angeles County Health Department. Adequate water and sewage facilities shall be provided to the satisfaction of the Health Department. (____B&S)
- 6.4) All work within the road right-of-way shall be designed to the satisfaction of the City Engineer (including but not limited to curb, gutter, sidewalk, driveways, parkway drains, and street tree locations). (____Engineering)
- 6.5) All curbs, gutters, and sidewalks along the property frontage on Huntley Drive shall be replaced. The applicant shall show this on a street and parkway improvement plan designed to the satisfaction of the City Engineer and approved prior to the issuance of building permits. Plan shall be prepared by a registered Civil Engineer licensed to practice in the State of California. (____Engineering)
- 6.6) Plan check fees must be paid in accordance with West Hollywood Ordinance No. 21, or such other ordinance in effect, at the time of submittal of plans to the City Engineer. (____Engineering)
- 6.8) The location of any new driveway access points to the subject property shall be reviewed and approved by the City Engineer with the street and parkway improvement plan for the project's frontage. Unused driveway approaches shall be removed and replaced to full height curb, with sidewalk and landscaping to match the adjacent area. (____Engineering)
- 6.9) Drainage of storm water, dewatered groundwater, or any other NPDES Permitted discharge from the subject property shall be disposed of under the sidewalks in a manner satisfactory to the City Engineer. On-site drainage systems shall outlet directly into the adjacent public storm drain system. Connection to the County systems shall be in compliance with any required permits of the jurisdictional agency. A drainage plan shall be submitted to the City Engineer and approved prior to issuance of Building Permits. Discharges to the street gutter which create a public safety nuisance will not be allowed. (____Engineering)

- 6.10) Prior to issuance of Building Permits or any Demolition Permit for the subject project, the applicant shall submit to the satisfaction of the City Engineer a plan for placement of any dumpsters, bins, stockpiles, construction equipment or any other items which will impact the public right-of-way. (____Engineering)
- 6.11) The structure(s) shall be equipped with ultra low flush toilets. If showers are present, shower heads shall not exceed 2.5 gallons per minute flow. (____B&S)
- 6.12) An Encroachment Permit must be approved by the City Engineer prior to commencement of any activities affecting the public right-of-way. Prior to issuance of each Encroachment Permit, the applicant shall submit to the satisfaction of the City Engineer plans and details regarding the scope activities covered by the Encroachment Permit. These activities may include but are not limited to:
- a) Excavation – staging of haul trucks, haul routes, site clean up
 - b) Bins – dumpsters, haul trucks
 - c) Office – construction office in public right of way
 - d) Material Deliveries – renewed monthly
 - e) Material Storage
 - f) Concrete Pours – staging of trucks, clean out, clean up
 - g) Worker Parking, renewed monthly
 - h) Construction Equipment – crane, gunite, equipment, scaffolding, etc.
 - i) Traffic and Pedestrian Management Safety Plan at Project
 - j) Public Improvements, Sidewalk, Curb, Gutter, Driveways. (____Engineering)
- 6.13) All utility systems shall meet the requirements of the respective agency. (____Engineering)
- 6.14) A General NPDES (National Pollutant Discharge Elimination System) Permit may be required by the State of California Regional Water Quality Control Board (RWQCB) for discharge of on-site groundwater (pumped from subterranean areas) to the public storm drain system. It is the applicant's responsibility to confer with the RWQCB regarding NPDES compliance for the site. (____Engineering)
- 6.14) Prior to the issuance of Building Permits, plans and supporting information must be submitted to and approved by the Environmental Services Specialist prior to performing any operation which will disturb or expose soil, as follows: (____Environmental Services)
- a) For sites involving less than 1 acre of disturbed area, an Owner's Certification must be prepared. For sites on hillsides, or those with at least 1 acre of disturbed area a Local Storm Water Pollution Prevention Plan (LSWPPP) must be prepared.
 - b) For sites with more than 1 acre of disturbed area, a Storm Water Pollution Prevention Plan (SWPPP) must be prepared and the Contractor must provide evidence to the Building and Safety Division that a Notice of Intent (NOI) has been submitted to the appropriate State agency.
 - c) If construction will be carried out on the project between October 1 and April 15, a Wet Weather Erosion Control Plan must be prepared. The preparation, submittal and adherence to all City requirements are the responsibility of the Contractor.
- 7.0 LANDSCAPING**
- 7.1) Prior to issuance of a building permit, final landscape and irrigation plans and specifications consistent with the standards set forth in the Zoning Code and design guidelines shall be submitted for review and approval by the Director of Community Development. **Landscaping plans shall show all plant species, plant locations, size and quantity.** For projects with three or more residential dwelling units, such plans shall be prepared by a landscape architect or landscape contractor licensed by the State of California. (____Planning)

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles , CA 90034

- 7.2) All landscaping shall be served by a permanent irrigation system. Sprinklers shall be placed to assure complete coverage of the landscaped area. Automatic controllers shall be set to water between 7:00 p.m. and 10:00 a.m. to reduce evaporation. (____Planning)
- 7.3) If bamboo is included in the landscape plan, a clumping type bamboo shall be used. Running type bamboo shall not be used. (____Planning)
- 7.4) The existing tree in the public right-of-way located on Huntley Drive shall be retained and protected at all times during construction with construction fencing or other approved measures. The tree protection zone shall be maintained and irrigated throughout the project. Contractor to contact City's Facilities and Field Services Division at 323-848-6339 for information regarding protection requirements prior to start of construction. (____Landscape Division)
- 7.5) All landscaping and planting areas shall be continually maintained in good condition and kept watered, cleaned and weeded. Dead or dying plant material shall be replaced. This shall be consistent with the approved landscape plan for projects that have an approved plan. Landscape and hardscape areas shall be kept free of trash and debris. (____Code Compliance)
- 8.0 DESIGN REQUIREMENTS**
- 8.1) Exterior color and material samples, along with final construction plans for the project, shall be subject to the review and approval of the Director of Community Development prior to issuance of building permits. (____Planning)
- 8.2) The project shall be constructed with 6 parking spaces for the new 3-unit apartment building. (____Planning)
- 8.3) All materials and details shall be of high quality. Materials and details must be reviewed and approved by the City's Urban Designer prior to issuance of Building Permits including:
- a) Materials shall be the equal or better to those shown on drawings dated March 13, 2014.
 - b) Details to be reviewed by the City's Urban Designer include: balcony and railing details, window details and typical and special corner conditions, canopies, special detail of frame element, column connections, sliding window wall detail, landscape wall detail, and roof parapet.
 - c) Materials at the ground level should be of durable material and high quality.
 - d) All stucco shall be smooth finish. Rough or textured stucco shall not be used unless otherwise approved by the City's Urban Designer.
 - e) Vinyl windows shall not be used unless otherwise approved by Director of Community Development. Approval of vinyl windows requires review and approval of details, samples and product specifications by City's Urban Designer.
- 8.4) Location and screening of all utilities and equipment including: Fire Department Connections, backflow preventers, meters, etc. must be approved by the project Planner and the City's Urban Designer. The applicant shall coordinate with public utility agencies to appropriately place or screen all fixtures, utility boxes, fire department standpipes, etc., so that they do not interfere with public amenities or the public right-of-way, to the satisfaction of the Community Development Director. (____Planning, Public Works)
- 8.5) All mechanical equipment must be properly screened. Screening shall be incorporated into overall project design. (____Planning)
- 8.6) Prior to the issuance of a building permit, the design of the fence and the landscaping within the front yard shall be submitted to and approved by the City's Urban Designer. (____Planning)

- 8.7) Prior to the issuance of a building permit, the final color and material palette shall be submitted to and approved by the City's Urban Designer. It should include a combination of materials and colors that enhance the project design. (____Planning)
- 9.0 SOLID WASTE AND RECYCLING**
- 9.1) The project shall be designed to meet the requirements for solid waste storage as shown in Table 3-3, Residential Project Storage Requirements, Zoning Ordinance - Section 19.20.180. (____Environmental Services)
- 9.2) Solid waste and recyclable materials storage areas shall be conveniently located as follows:
- a) Multiple storage areas shall be located adjacent to, or near one another, or combined.
 - b) Must be located inside a specially designated structure or on the outside of a structure in an approved fence or wall enclosure, an interior courtyard area or in the rear or interior side yards.
 - c) Exterior storage areas shall not be located in a required front yard, street side yard, parking space, landscaped, or open space areas.
 - d) Storage areas shall be accessible to employees at all times.
 - e) Driveways and aisles shall provide unobstructed access for collection vehicles and personnel with at least the minimum clearance required by the collection methods and vehicles utilized by the designated collector. (____Environmental Services)
- 9.3) Prior to issuance of the Demolition Permit, the applicant shall submit to the Environmental Services Coordinator a Demolition and Construction Debris Recycling Plan, which indicates where select demolition debris is to be sent for recycling. To the maximum extent possible, all demolition debris and construction waste must be recycled. The Plan will be subject to review and approval by the City. The plan shall list the material to be recycled and the name, address, and phone number of the facility or organization that will accept the materials. For a list of companies that accept demolition debris, contact Environmental Services at (323) 848-6404. (____Environmental Services)
- 9.4) Any demolition debris is to be hauled away only by a hauler permitted to operate in West Hollywood. For a list of permitted haulers, contact the Environmental Services Specialist at (323) 848-6404. (____Environmental Services)
- 9.5) Prior to issuance of the Certificate of Occupancy, the applicant shall submit to the Environmental Services Coordinator recycling manifests from all disposal sites, recycling sites and landfills that accepted demolition, excavation and/or general construction waste and recycled materials from this site. (____Environmental Services)
- 9.6) Projects containing 1-4 units shall receive curbside solid waste services with the property owner providing the solid waste containers. Projects with 5 or more units shall receive dumpster services with the City's exclusive franchised hauler providing the dumpster. For questions regarding solid waste services or pick-up schedules please contact the Environmental Services Specialist at (323) 848-6404. (____Environmental Services)
- 10.0 TRANSPORTATION, PARKING AND CIRCULATION**
- 10.1) Prior to issuance of Building Permits, the applicant shall submit building plans which identify driveway and driveway landscaping visibility to the Director of Transportation and Public Works for review and approval. Driveways and driveway landscaping shall be designed so as to minimize interference with pedestrians. Nothing shall obstruct the motorists view from 5 feet back from the property line to

- a distance of 10 feet from the side of the driveway on to the driver's right side and 10 feet from the centerline of the driveway to the driver's left side. The landscaping in the vicinity of each driveway and the walls of the building shall be designed in a manner so as not to interfere with the view that motorists have to the sidewalk. Shrubs shall be kept below 28 inches in height and the base of the foliage on trees shall be kept at a 5 foot minimum. (____LRMP)
- 10.2) Prior to issuance of Building Permits, the applicant shall submit building plans which identify all exterior pedestrian pathway(s) to the Director of Transportation and Public Works for review and approval. The applicant shall provide sidewalks or other designated pathways following direct and safe routes from the external pedestrian circulation system to each building in the development. (____LRMP)
- 10.3) Prior to issuance of Building Permits, the applicant shall submit building plans which identify any garage gate(s) and direction of the gate(s) movement to the Director of Transportation and Public Works for review and approval. Parking garage gates shall not move in a direction which interferes with on-street or pedestrian circulation. Gates shall open inward or by sliding alongside the building wall. Gates shall only open outward if the distance between the property line and the end of the opened gate is greater than 26 feet. Entry controllers shall be set back a minimum of 12 feet from the property line. (____LRMP)
- 10.4) Vehicles belonging to independent contractors, subcontractors, and/or employees who are doing construction or renovations to a residence require an encroachment permit to park on the street for specific periods of time. An encroachment permit requires at least 72 hours advance planning in a residential zone to ensure there are no conflicts with other work being performed on neighboring properties or public streets. Such vehicles are prohibited from using residential, guest, and/or visitor parking permits. (____Parking)

APPROVED THIS 13th DAY OF MARCH, 2014

Adrian Gallo
ADRIAN GALLO
ASSOCIATE PLANNER
COMMUNITY DEVELOPMENT DEPARTMENT



20230 Wells Drive
Woodland Hills, CA
91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

CONDITIONS OF APPROVAL

10/9/2014

scale:

prepared by: R.d.S

job #: 2013-184

PROJECT

HUNTLEY APARTMENTS

723 Huntley Drive,
West Hollywood, CA
90069



Note: Rendering not to be used for construction purposes.

PROJECT TEAM

SURVEYOR:
CALIFORNIA LAND SERVICES, INC.
13311 Ventura Blvd., Ste. F-1
Sherman Oaks, CA 91423
818-986-4225

LANDSCAPE ARCHITECT
SQ L.A. LANDSCAPE ARCHITECT
530 Molino Street #204
Los Angeles, CA 90013
213-383-1188

ELECTRICAL ENGINEER
DS & A ELECTRICAL CONSULTING
3240 Easy Ave.
Long Beach, CA 90810
310-384-2594

Note:

The applicant shall pay the appropriate affordable housing exaction fee.

The applicant shall pay the appropriate public beautification & art fee.

PROJECT SUMMARY

PROJECT DESCRIPTION New Two Story 3 Unit apartment building with a 6 car Subterranean Garage.

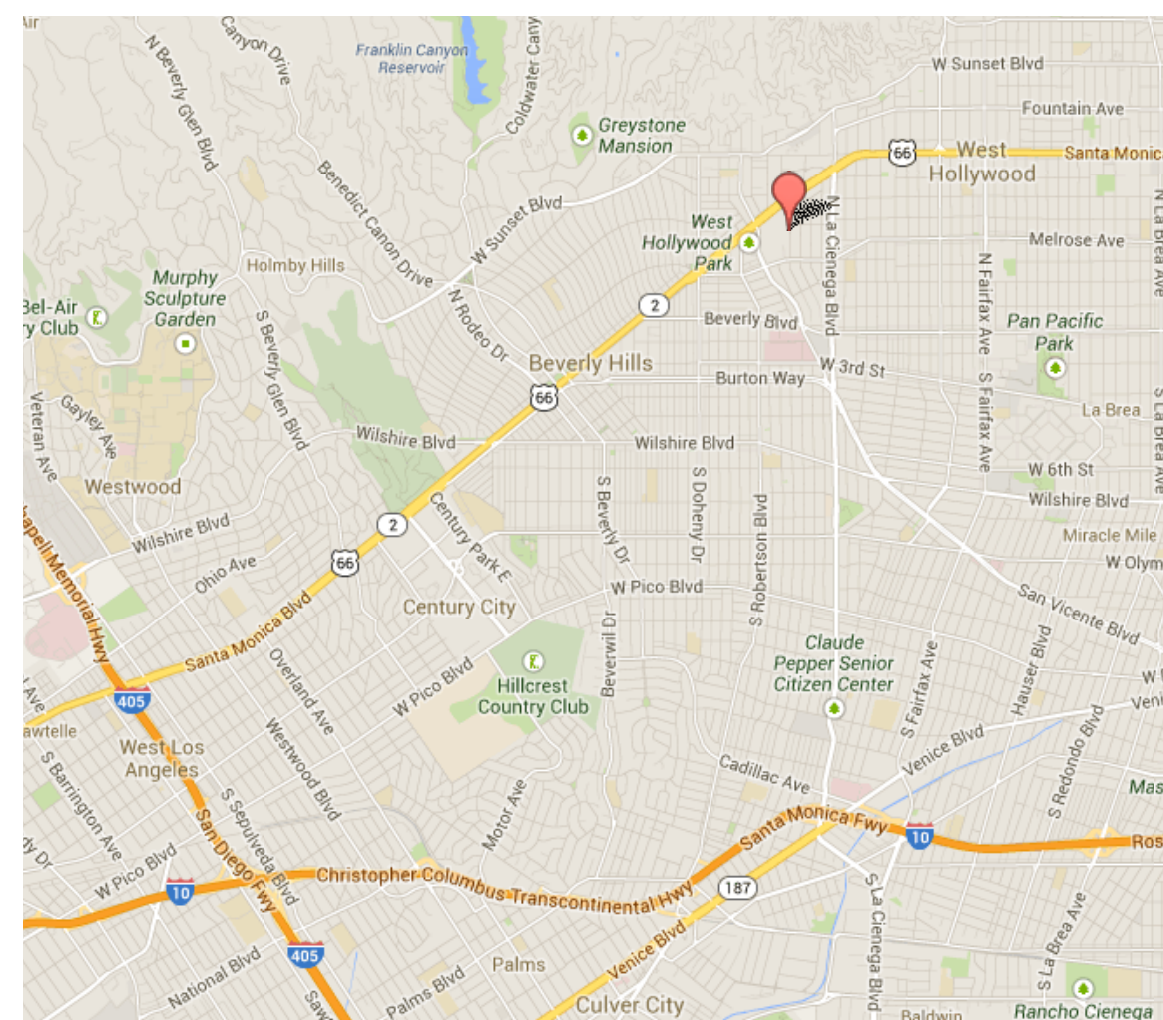
PROPOSED PROJECT

	Air Conditioned Area		Garage	Covered Area	TOTAL	
	First Floor	Second Floor				
UNIT A	Building Code, Floor Area	911.20	932.10	469.50	-	2,312.80
	Zoning Code, Building Area	844.34	814.36	-	-	1,118.10
	School District Fee, Building Area	844.34	814.36	-	-	1,118.10
UNIT B	Building Code, Floor Area	128.11	192.28	668.65	-	2,189.10
	Zoning Code, Building Area	683.45	153.06	-	-	1,436.51
	School District Fee, Building Area	683.45	153.06	-	-	1,436.51
UNIT C	Building Code, Floor Area	115.40	182.52	653.14	-	2,151.06
	Zoning Code, Building Area	669.00	131.64	-	-	1,400.64
	School District Fee, Building Area	669.00	131.64	-	-	1,400.64
COMBINED 3 UNITS	Building Code, Floor Area	2,354.11	2,506.90	1,791.29	-	6,652.96
	Zoning Code, Building Area	2,196.19	2,269.06	-	-	4,465.85
	School District Fee, Building Area	2,196.19	2,269.06	-	-	4,465.85

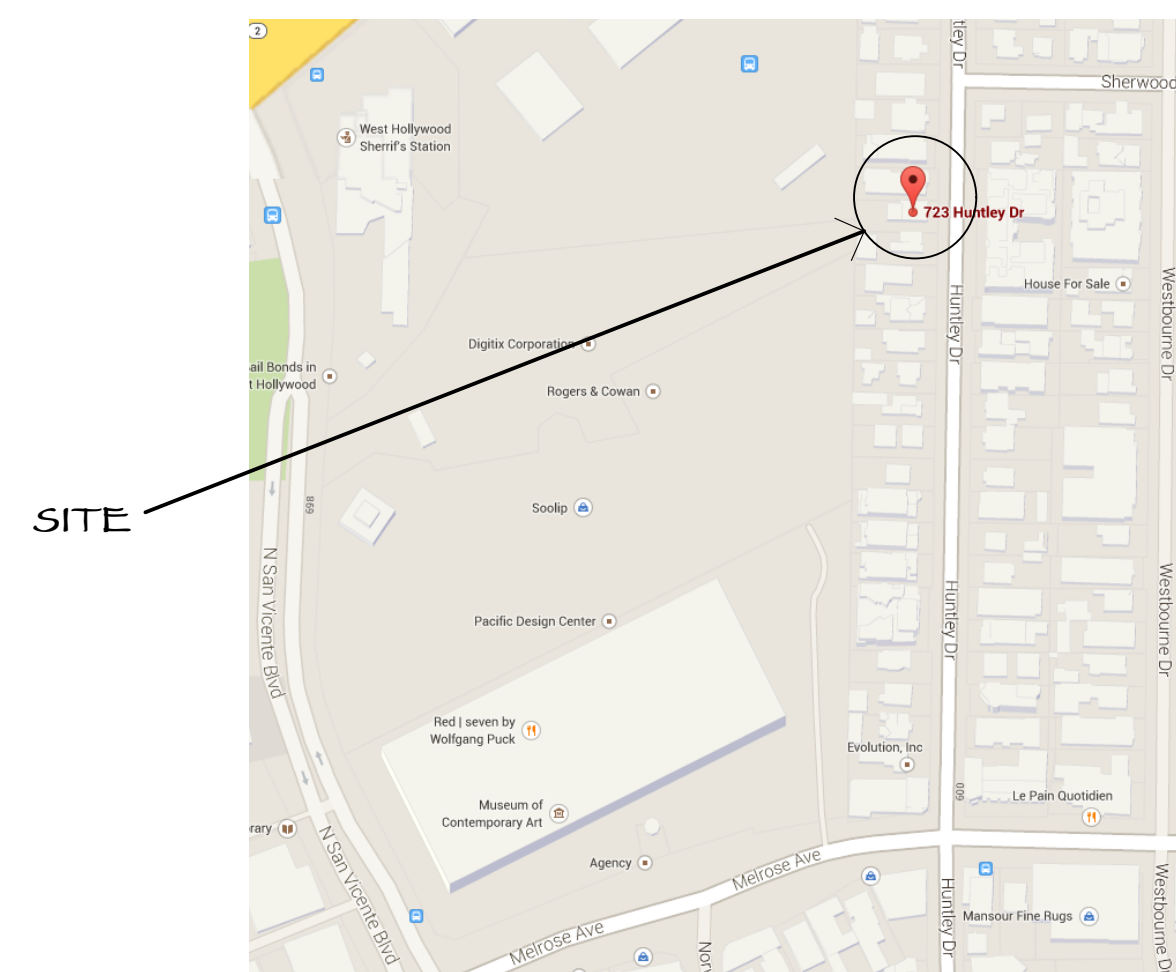
SITE INFO

PROJECT ADDRESS	723 Huntley Drive, West Hollywood, CA 90069	Zoning:	R-2
LEGAL DESCRIPTION	A.P.N. 4331-014-042 Lot 60 Block Tract 4912 MB 53-36	Occupancy:	-
LOT AREA	5,211.51 Sq. Ft.	Construction Type:	V-B
HEIGHT	Max. Proposed 25'-0" To Building Envelop	Fire Zone:	-
		Applicable Codes:	City of West Hollywood Building Code -2011 Edition

VICINITY MAP



LOCATION MAP



INDEX OF DRAWINGS

ARCHITECTURAL

- AG-1 CONDITIONS OF APPROVAL
- AG-2 CONDITIONS OF APPROVAL
- AG-3 TITLE SHEET
- AG-4 GENERAL NOTES
- AG-5 GENERAL NOTES
- AG-6 GREEN BUILDING NOTES & LEED CHECKLIST
- AG-7 CA ENERGY COMPLIANCE
- AG-8 OPEN SPACE CALCULATIONS
- AG-9 DOOR & WINDOW SCHEDULES
- A-0.1 SITE PLAN
- A-0.1.0 CONSTRUCTION SITE VEHICLE PARKING PLAN SURVEY
- A-1.0 BASEMENT FLOOR PLAN
- A-1.1 FIRST FLOOR PLAN
- A-1.2 SECOND FLOOR PLAN
- A-1.3 ROOF PLAN
- A-1.4 UPPER ROOF PLAN
- A-1.5 DOOR & WINDOW SCHEDULE
- A-2.1 EXTERIOR ELEVATIONS
- A-2.2 EXTERIOR ELEVATIONS
- A-2.3 COLOR EXTERIOR ELEVATIONS
- A-2.4 COLOR EXTERIOR ELEVATIONS
- A-2.5 FRONT ELEVATION WITH ADJACENT BUILDINGS
- A-3.1 SECTION A
- A-3.2 SECTION B
- A-3.3 SECTION C
- A-3.4 SECTION D
- A-3.5 SECTION E
- A-3.6 SECTION F
- A-3.7 SECTION G
- A-3.8 SECTION H

LANDSCAPE

- LP-1 PRELIMINARY LANDSCAPE PLAN
- LP-2 PRELIMINARY ROOF LANDSCAPE
- LP-3 PRELIMINARY LANDSCAPE DETAILS
- LI-1 IRRIGATION PLAN - FIRST FLOOR
- LI-2 IRRIGATION PLAN - ROOF
- LI-3 IRRIGATION DETAILS

STRUCTURAL

- S 1 GENERAL NOTES
- S 2 CONCRETE & MASONRY DETAILS
- S 3 WOOD DETAILS
- S 4 WOOD DETAILS
- S 5 STEEL & MISC. DETAILS
- S 6 SHORING PLAN
- S 7 FOUNDATION PLAN
- S 8 FIRST FLOOR FRAMING PLAN
- S 9 SECOND FLOOR FRAMING PLAN
- S 10 ROOF FRAMING PLAN

MECHANICAL

- M 1.0 LEGENDS, NOTES, ROOF SCHEDULE & SPECS
- M 1.1 T-24 CALCULATIONS
- M 1.2 T-24 CALCULATIONS
- M 2.0 BASEMENT & FIRST FLOOR MECHANICAL PLAN
- M 3.0 SECOND FLOOR & ROOF MECHANICAL PLAN
- M 4.0 MECHANICAL DETAILS

ELECTRICAL

- E-1.0 COVER SHEET & NOTES
- E-2.0 BASEMENT & FIRST FLOOR ELECTRICAL PLAN
- E-3.0 SECOND FLOOR & ROOF ELECTRICAL PLAN
- E-4.0 PANEL SCHEDULE & SINGLE LINE DIAGRAM

PLUMBING

- P 1.0 LEGEND, NOTES, & ROOF SCHEDULE & SPECS
- P 2.0 PLUMBING SITE PLAN
- P 3.0 BASEMENT & FIRST FLOOR PLUMBING PLAN
- P 4.0 SECOND FLOOR & ROOF PLUMBING PLAN
- P 5.0 PLUMBING RISER DIAGRAM
- P 6.0 PLUMBING DETAIL

Permit Date

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA
91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

TITLE SHEET

10/9/2014
scale as noted
prepared by: R.d.S
job #: 2013-184

AG-0.3

GENERAL NOTES

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

A. GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONTRADICTIONS AT PROJECT SITE BEFORE EXECUTING ANY WORK. HE SHALL NOTIFY THE OWNER AND/OR THE AUTHORIZED AGENT OF THE OWNER OF ANY AND ALL DISCREPANCIES BEFORE PROCEEDING.
- WORKING DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL GOVERN. DIMENSIONS ARE TAKEN AT FACE OF STUD OR CENTERLINE UNLESS NOTED OTHERWISE. ALL MATERIALS AND WORKMANSHIP SHALL BE NEW AND THE BEST OF ITS CLASS AND KIND. ALL CONTRACTORS SHALL COOPERATE WITH AND ANTICIPATE THE NEEDS OF EACH OTHER IN THEIR RESPECTIVE TRADES SO THAT THE WORK OF ONE WILL NOT UNNECESSARILY DELAY OR REQUIRE MODIFICATION TO THE WORK OF ANOTHER. ALL FEATURES OF CONSTRUCTION NOT SPECIFICALLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER SHOWN FOR SIMILAR CONSTRUCTION.
- EACH CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY LEGAL AUTHORITIES BEFORE PROCEEDING WITH THEIR RESPECTIVE INSTALLATION. HE SHALL ALSO ARRANGE AND PAY FOR ALL INSPECTIONS AND EXAMINATIONS REQUIRED BY THOSE AUTHORITIES. (UNLESS AGREEMENT WITH OWNER STATES OTHERWISE).
- ALL WORK AND MATERIALS ARE TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY AND STATE CODES, LOCAL REGULATIONS AND THE DIRECTION OF THE BUILDING INSPECTOR FOR SUCH BUILDING LAWS. REGULATIONS AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THEIR SPECIFICATIONS AND PLAN, EXCEPT WHERE EXCEEDED HEREIN.
- THE STRUCTURE IS DESIGNED AS STABLE PROVIDED ALL SHORING AND BRACING NECESSARY TO INSURE THE STABILITY OF ANY AND ALL PORTIONS OF THE BUILDING DURING CONSTRUCTION.
- WHERE FACTORY FINISHED OR FACTORY PRIMED ITEMS OCCUR SUCH AS GRILLES, DIFFUSERS, METAL TRIMS, AND ACCESSORIES, ETC., THEY SHALL BE PAINTED OR FINISHED TO MATCH THE ADJACENT SURFACE OR AS DIRECTED BY THE ARCHITECT.

1. PROVIDE SUPPORTS AS REQUIRED FOR DUCTS, PIPING, AND MECHANICAL AND ELECTRICAL INSTALLATIONS. PROVIDE APPROVED SWAY BRACING FOR WATER HEATER AND ALL SUSPENDED EQUIPMENT.

8. THE ENTRY / EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.

EXCEPTIONS: IN GROUPS R-3 AND U AND WITHIN INDIVIDUAL UNITS OF GROUP R-2 [SECTION 1008.1.4]:

- A DOOR MAY OPEN AT THE TOP STEP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED THE DOOR DOES NOT SWING OVER THE TOP STEP.
- A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 1.15 INCHES BELOW THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.

c. SCREEN DOORS AND STORM DOORS MAY SWING OVER STAIRS, STEPS OR LANDINGS.

9. ALL EXTERIOR DOORS SHALL HAVE A LANDING WITH A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND A LENGTH NOT LESS THAN 44 INCHES.

EXCEPTION: LANDING LENGTH IN THE DIRECTION OF TRAVEL IN GROUPS R-3 AND U AND WITHIN INDIVIDUAL UNITS OF GROUP R-2 NEED NOT EXCEED 36 INCHES. [SEC. 1008.1.5.]

B. GENERAL CONDITIONS

- ALL WORK SHALL COMPLY WITH THE 2011 EDITION OF THE CITY OF LOS ANGELES RESIDENTIAL BUILDING CODE AND ALL AMENDMENTS TO THE CODE, THE 2011 CITY OF LOS ANGELES ELECTRICAL CODE; THE 2011 CITY OF LOS ANGELES MECHANICAL CODE; AND THE 2011 CITY OF LOS ANGELES PLUMBING CODE, AND ALL AMENDMENTS TO THESE CODES.
- ALL WORK AND MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF THE BUILDING CODE AND ALL PERTINENT AGENCIES' REGULATIONS, LAWS AND ORDINANCES GOVERNING THIS CONSTRUCTION. NOTHING IN THE CONSTRUCTION DOCUMENTS SHALL BE CONSTRUED (TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES AND/OR RESTRICTIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THE DOCUMENTS VARY FROM SAID CODES AND/OR RESTRICTIONS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG HIS EMPLOYEES AND OTHER PERSONS CARRYING OUT THE CONTRACT. HE SHALL NOT PERMIT EMPLOYEES OR OTHER PERSONS OR PERSONS TO TAKE ON TASKS ASSIGNED TO THEM. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER CONTRACT WITH THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE AND PAY FOR LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, WATER, UTILITIES, TOILETS, TRANSPORTATION FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, WHETHER TEMPORARY OR PERMANENT AND WHETHER OR NOT INCORPORATED OR TO BE INCORPORATED INTO THE WORK.
- CONTRACTOR SHALL ANTICIPATE ALL REQUIREMENTS FOR THE COMPLETION OF THE JOB AND PROVIDE ALL NECESSARY WORK SUCH AS CUTTING, PATCHING, REMOVALS, RELOCATIONS, FIXING, REPAIRING, PAINTING, ETC., WHETHER OR NOT SPECIFICALLY CALLED FOR OR DESCRIBED ON THE DRAWING.
- CONTRACTOR SHALL VERIFY THE SITE AND EXAMINE ALL EXISTING CONDITIONS WHICH MAY AFFECT THE WORK AND REPORT TO ARCHITECT ANY DISCREPANCY WITH THE DRAWINGS OR ANY CLARIFICATIONS BEFORE ANY COMMENCEMENT HIS BID.
- ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OR ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ARCHITECT SO THAT THE PROPER REVISIONS MAY BE MADE. MODIFICATIONS OR DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.
- CONTRACTOR TO VERIFY WITH OWNER AND ARCHITECT MAKE, MODEL, AND COLOR OF APPLIANCE, ELECTRICAL AND PLUMBING FIXTURES, AND FINISH MATERIAL. CONTRACTOR SHALL COORDINATE WITH THE OWNER THE EXACT LOCATION OF ALL POWER, DATA, COMMUNICATION, AND TELEVISION RECEPTACLES AND SWITCHES.
- THE CONTRACTOR AND HIS SUBCONTRACTORS MUST MAINTAIN THE PREMISES AND SURROUNDING AREAS CLEAN AT ALL TIMES AND MUST CLEAN THESE AREAS DAILY AT THE END OF WORKING HOURS. THE CONTRACTOR SHALL REMOVE FROM AND ABOUT THE PROJECT WASTE MATERIALS, RUBBISH, THE CONTRACTOR'S TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIALS. THE CONTRACTOR SHALL CLEAN ALL GLASS, CERAMIC TILE, FINISH HARDWARE, PLUMBING FIXTURES, ELECTRICAL TRIM, EQUIPMENT, AND APPLIANCE AND THE BUILDING UPON COMPLETION OF THE PROJECT.
- THE PLUMBING, MECHANICAL, AND ELECTRICAL CONTRACTORS SHALL SUPPLY NECESSARY LAYOUTS, CALCULATIONS, SIZES, SPECIFICATIONS AND PERMITS FOR THEIR RESPECTIVE WORK AND SHALL PROVIDE COPIES OF SAME TO THE ARCHITECT.
- DELIVERY OF MATERIALS AND REMOVAL OF DEBRIS IS TO BE COORDINATED AND SCHEDULED WITH THE OWNER AND CITY AGENCIES IF REQUIRED. MATERIAL AND EQUIPMENT STORAGE AND THE SECURITY OF SAME INCLUDING THE JOB SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE ACT OF STARTING ANY SPECIFIC OPERATION WILL BE DEEMED AS EVIDENCING ACCEPTANCE BY THE CONTRACTOR OF ALL RELATED EXISTING CONDITIONS AS BEING SATISFACTORY FOR SUCH WORK.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ARCHITECT HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OR WORK ON THIS PROJECT. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT SHALL NOT INCLUDE INSPECTIONS OF PROTECTIVE MEASURES OR CONSTRUCTION PROCEDURES. THESE VISITS ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND ACHIEVEMENT OF THE GENERAL CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTION OR SUPERVISION OF CONSTRUCTION.
- APPROVED TOILET FACILITIES SHALL BE PROVIDED AT ALL TIMES DURING CONSTRUCTION. CHEMICAL TOILETS WHEN USED, SHALL NOT BE PLACED WITHIN THE FRONT YARD SETBACK.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VALVS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN 10' OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES. OBTAIN APPROVAL FROM THE POWER COMPANY.
- OBTAIN PERMIT FROM PUBLIC WORKS FOR A PROTECTION FENCE CANOPY ON OR OVER ANY STREET OR PUBLIC SPACE.
- OBTAIN APPROVAL FROM PUBLIC WORKS AND BUILDING DEPARTMENT FOR ANY TEMPORARY SHORING OR CAVATIONS THAT REMOVE THE LATERAL SUPPORT FROM A PUBLIC WAY PRIOR TO CONSTRUCTION.
- FOR SITE WITHIN POTENTIAL METHANE ZONE, OBTAIN APPROVAL FROM FIRE DEPARTMENT AND MECHANICAL DIVISION OF BUILDING DEPARTMENT FOR INSTALLING A MECHANICAL VENTING SYSTEM PER MGD #12.

19. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

20. OBTAIN PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO PERMIT ISSUANCE FOR:

- TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND.
- THE CONSTRUCTION OR DEMOLITION OF ANY BUILDING, STRUCTURE, OR SCAFFOLDING OR FALSE WORK MORE THAN 3 STORIES OR 36 FEET IN HEIGHT. HSC 11922.56.

21. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

22. A COPY OF THE VALID EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOBSITE.

C. CONCRETE SEE STRUCTURAL "S" SHEETS FOR NOTES.

D. REINFORCING STEEL SEE STRUCTURAL "S" SHEETS FOR NOTES.

E. STRUCTURAL STEEL SEE STRUCTURAL "S" SHEETS FOR NOTES.

F. MASONRY SEE STRUCTURAL "S" SHEETS FOR NOTES.

G. LUMBER/FRAMING SEE STRUCTURAL "S" SHEETS FOR NOTES.

H. FINISH CARPENTRY

- FURNISH AND INSTALL ALL TRIM, DOORS, FRAMES, PANELING, SHELVING, ETC. INSTALL ALL FINISH HARDWARE, BATH ACCESSORIES, CABINET PULLS, ETC.
- ALL JOINTS TO BE TIGHT, TRUE, AND SECURELY FASTENED; CORNERS NEATLY BUTTED, COPED OR MITERED, WITH NAILS SET AND FREE OF TOOL MARKS.
- WOOD WORK TO BE SCRIBED TO ADJOINING SURFACES, SHALL BE COMPLETELY SANDED AND FINISHED FOR FINISH.
- ALL MATERIAL SHALL BE FULL LENGTH BOARDS WHEREVER POSSIBLE.
- DOOR FRAMES SHALL BE SET PLUMB AND TRUE, RIGIDLY SECURED AND PROTECTED DURING THE COURSE OF CONSTRUCTION.
- DOORS SHALL BE ACCURATELY CUT, TRIMMED AND FITTED TO FRAME AND HARDWARE WITH DUE ALLOWANCES FOR PAINTER'S FINISHES AND FLOORING. DOORS SHALL OPERATE FREELY BUT NOT LOOSELY OR HINGE BOUND WITH ALL HARDWARE PROPERLY ADJUSTED AND FUNCTIONING.

I. THERMAL AND MOISTURE PROTECTION

ALL WATERPROOFING METHODS AND DETAILS SHALL BE REVIEWED, APPROVED, STAMPED AND SIGNED BY A LICENSED WATERPROOFING CONSULTANT PRIOR TO INSTALLATION.

- SHEET METAL**
 - GALVANIZED SHEET METAL PER ASTM A193 IN GAUGES NOTED ON DRAWINGS.
 - NAILS SHALL BE HOT DIPPED GALVANIZED.
 - RIVETS SHALL BE RUST RESISTANT COATED SOFT IRON.
 - SOLDER PER ASTM D32, 50% LEAD, 50% TIN.
 - WHERE INDICATED ON DRAWINGS, PROVIDE COPPER FLASHING IN THICKNESS PER DETAILS. COPPER METAL CANNOT COME IN CONTACT WITH OTHER METALS, PROVIDED COPPER FASTENERS, ETC. FOR COPPER FLASHING INSTALLATION.
 - WHERE INDICATED ON DRAWINGS, EXPOSED COPPER FLASHING TO BE CHEMICALLY TREATED TO PATINA WITHOUT DRIPS OR RUNS. CONTRACTOR TO PROVIDE SAMPLE FOR OWNER AND ARCHITECT APPROVAL PRIOR TO INSTALLATION.
 - PROVIDE 1/8" MINIMUM BUTYL OR FOAM TAPE BETWEEN COPPER AND OTHER TYPES OF METALS.
 - FABRICATE AND INSTALL ALL WORK IN ACCORDANCE WITH SHEET METAL AND AIR CONDITIONING CONTRACTOR'S ASSOCIATION ARCHITECTURAL SHEET METAL MANUAL. ALL DIMENSIONS SHALL BE FIELD VERIFIED.
 - PROVIDE NECESSARY EXPANSION AND CONTRACTION JOINTS.
 - EXPOSED RAW EDGES SHALL BE DOUBLED BACK 1/4" MINIMUM.
 - ALL FLASHING JOINTS AND FASTENER PENETRATIONS SHALL BE CAULKED.
 - ALL FLASHING IN CONTACT WITH THE GRADE OR BELOW-GRADE SHALL BE COPPER.
- SEALANTS**
 - JUNTS SHALL BE CAULKED WITH ONE-PART, NON-SLAG, LOW MODULUS, MOISTURE CURING POLYURETHANE JOINT SEALANT, INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. APPLY SEALANT AS REQUIRED TO PROVIDE A POSITIVE BARRIER AGAINST MOISTURE AND AIR INFILTRATION. SEALANT COLOR TO MATCH ADJACENT SURFACE COLOR.
 - INSTALL JOINT SEALANT PER ASTM D1190.
 - FILL ALL JOINTS WITH APPROVED FLEXIBLE OPEN-CELL POLYETHYLENE FOAM ROD BACKUP MATERIAL TO PROVIDE A BOND BREAK AT BACK OF JOINT.
- WALLS**
 - ALL EXTERIOR WALLS TO HAVE A MINIMUM 15 LB FMT UNDERLAY.
 - PROVIDE TWO LAYERS OF GRADE "D" PAPER UNDER EXTERIOR PLASTER APPLIED OVER WOOD SHEATHING (SHEAR WALLS, E.) PER BUILDING CODE.
 - CORROSION RESISTANT WEAP SCREWS WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO ITS EXTERIOR SIDE OF THE BUILDING IS EXTENDED BELOW THE EXTERIOR PLASTER AT THE FOUNDATION PLATE LINE AND 4" ABOVE GRADE MINIMUM OR 2" ABOVE PAVED AREA.
 - FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOF KRAFT PAPER TO AT LEAST 3" UNDER THE BUILDING PAPER BEHIND THE WALL COVERING. FLASH ALL WINDOW AND DOOR FRAME HEADS WITH GALVANIZED METAL PER SHEET METAL NOTE 1, OR AS PER DETAILS AS SHOWN HEREIN THESE DOCUMENTS.
 - WALL COVERINGS IN SHOWERS AND TUB-SHOWERS SHALL BE NON-ABSORBENT SUCH AS CEMENT PLASTER, TILE, OR EQUAL TO 10" MINIMUM ABOVE THE DRAIN. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE, EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- INSULATION**
 - ALL INSULATION SHALL COMPLY WITH ENERGY INSULATION STANDARDS ADOPTED IN THE MODEL ENERGY CODE IN THE APPENDIX OF THE U.B.C. INSULATING MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. [SECTION 1119.2] SEE TITLE 24 SECTIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 - ALL WALLS EXPOSED TO EXTERIOR OR TO UNCONDITIONED SPACE SHALL HAVE R-30 MINIMUM BATT INSULATION, ALL ROOF/ATTIC CEILING SHALL HAVE R-30 MINIMUM BATT TYPE INSULATION, ALL FLOORS EXPOSED TO EXTERIOR OR TO UNCONDITIONED SPACE SHALL HAVE R-11 MINIMUM BATT TYPE INSULATION. REFER TO THE STATE ENERGY COMPLIANCE FORMS AND MANDATORY MEASURES FOR SPECIFIC PROJECT REQUIREMENTS.
 - INSTALL BATT'S BETWEEN JOISTS SECURELY FITTED AT ALL CEILING AREAS EXPOSED TO ROOF OR ATTIC AREAS, FLOOR AREAS EXPOSED TO EXTERIOR OR UNCONDITIONED SPACES, AND BETWEEN STUDS AT ANY VERTICAL WALL AREAS EXPOSED TO THE EXTERIOR, TO ATTIC SPACES OR TO UNCONDITIONED SPACES. REFER TO "MANDATORY MEASURES" ELSEWHERE ON THESE PLANS, FOR ADDITIONAL INSULATING REQUIREMENTS.
 - AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE EMPLOYMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS DESCRIBED IN SECTION 10-103(a)(2). THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME, MATERIAL IDENTIFICATION, AND THE INSTALLED R-VALUE.
- WATERPROOFING**
 - MEMBRANE WATERPROOFING WHERE INDICATED ON PLANS. PROVIDE "BITUMENE 3000 WATERPROOFING MEMBRANE" BY WR, GRACE 5 CO.-CONN, 62 WHITTEMORE AVENUE, CAMBRIDGE, MA 02140, (866) 333-3126. L.A.R.R. #24386, OR EQUAL. INSTALLATION TO BE PREPARED BY SKILLED AND QUALIFIED MECHANICS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 - BELOW-GRADE WATERPROOFING FOR VERTICAL AND HORIZONTAL SURFACES, PROVIDE "BITUMENE SYSTEM 4000" (INCLUDES WATERPROOFING MEMBRANE, PROTECTION BOARD, PREFABRICATED DRAINAGE COMPOSITE, 4 MISC. MATERIALS TO EXECUTE COMPLETE INSTALLATION) BY WR, GRACE 5 CO.-CONN, 62 WHITTEMORE AVENUE, CAMBRIDGE, MA 02140, (866) 333-3126. L.A.R.R. #24386, OR EQUAL. INSTALLATION TO BE PREPARED BY SKILLED AND QUALIFIED MECHANICS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 - WATERPROOFING FOR ROOF/ATTIC AREAS, PROVIDE "ASTIC GASKET WATERSTOP" BY COLLOID ENVIRONMENTAL TECHNOLOGIES COMPANY (CETCO) (800) 927-1918, OR EQUAL. INSTALLATION TO BE PREPARED BY SKILLED AND QUALIFIED MECHANICS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 - WATERPROOFING FOR WALKING SURFACES AND SURFACES TO BE PREPARED BY SKILLED AND QUALIFIED MECHANICS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 - WALKING DECKS AND SURFACES
 - TILE PAVERS OVER FLEXIDECK P-TW UNDERLAYMENT SYSTEM, CLASS 'A', BY POLY-TUFF SYSTEMS INTERNATIONAL, (866) 911-8833. ICC-ES REPORT #ER-1494, L.A.R.R. #R-25111, OR EQUAL. INSTALLATION TO BE PREPARED BY SKILLED AND QUALIFIED MECHANICS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

b. AVM SYSTEM 100 ELASTO FIBERDECK, CLASS 'A' WATERPROOF DECKING BY AVM INDUSTRIES, LLC, (818) 888-0050, ICC-ES #ER-5619, L.A.R.R. #25430, OR EQUAL. INSTALLATION TO BE PREPARED BY SKILLED AND QUALIFIED MECHANICS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS; OR

c. DEX-O-TEX WEATHERWEAR PROMENADE ROOF DECK, CLASS 'A' WATERPROOF DECKING BY CROSSFIELD PRODUCTS CORP., (310) 886-9100. ICC-ES #ER-1151, L.A.R.R. #2360, OR EQUAL. WHEN DEX-O-TEX IS USED AS AN UNDERLAYMENT FOR FLOORING TILE, ETC., USE "NEOBOND FRACTURE RESISTANT WATERPROOF MEMBRANE" SYSTEM.

INSTALLATION TO BE PREPARED BY SKILLED AND QUALIFIED MECHANICS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. FOR INSTALLATION AND APPLICATION QUESTIONS, CONTACT MIKE FITCHER, (310) 886-1100.

1. WOOD PROTECTION

PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R311.1, BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA 11.

8. DAMPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1

J. ROOFING

- BUILT-UP ROOFING**
 - CERTAINTED ROOFING SYSTEM, CLASS 'C', SPECIFICATION NO. A-4-M-3 OR APPROVED EQUAL CONSISTING OF ONE PLY OF GLASSBASE BASE SHEET, TWO PLYS OF FLINTGLAS PLY SHEET AND ONE PLY OF FLINTGLAS MINERAL SURFACE CAP SHEET, TYPE III ASPHALT MOPPINGS (3 @ 25 LBS. EA.), ICC-ES ESR-1388, L.A.R.R. #25082, BY CERTAINTED, 6400 STEVENSON BOULEVARD, FREMONT, CA 94538, (800) 955-0811, (800) 233-8990, OR EQUAL. (GRAVEL SURFACED PER PLAN).
 - IN ANGLES OF ROOF DECK AND VERTICAL SURFACES, THE CONTRACTOR SHALL FURNISH AND INSTALL A FIBER CANT STRIP WITH A MINIMUM 3" FACE.
 - BUILT-UP ROOF COVERING INSTALLATION SHALL COMPLY WITH SECTION 1501.10 AND MATERIALS SHALL COMPLY WITH THE STANDARDS IN SECTION 1501.10.2.
- ASPHALT SHINGLE ROOFING**
 - ASPHALT SHINGLES, CLASS 'A', ICC-ES ESR-1312, L.A.R.R. #259310, AS MANUFACTURED BY OWENS CORNING, ONE OWENS CORNING PARKWAY, TOLEDO, OHIO 43669, (800) 438-1465, OR APPROVED EQUAL.
 - INSTALLATION SHALL BE AS PER MANUFACTURER'S SPECIFICATIONS.
 - THE INSTALLATION OF ASPHALT SHINGLES SHALL COMPLY WITH SECTION 1501.2.

K. GYPSUM WALLBOARD

- GYPSUM WALLBOARD SHALL BE "SHEETROCK" 5/8" FIRE X CONFORMING TO ASTM C 36.
- INSTALLATION SHALL BE PER MANUFACTURER'S SPECIFICATIONS WITH SCREW TYPE ATTACHMENT TO WOOD FRAMING.
- CORNER REINFORCEMENT SHALL BE GALVANIZED STEEL TYPE, 90 DEGREE EDGES OR BULLNOSE EDGES AS SPECIFIED ON PLANS, VERIFY PRIOR TO INSTALLATION.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 5/8" INCH TYPE "X" GYPSUM BOARD.

L. LATH AND PLASTER

- LATH SHALL BE 20 GAUGE WOVEN WIRE PLASTER BASE SELF-FURRED OVER WATER-PROOF FELT (SEE "WALL" NOTES UNDER "THERMAL AND MOISTURE PROTECTION" ABOVE).
- ALL CORNERS TO RECEIVE GALVANIZED STEEL EXPANDED FLANGE CORNER BEADS.
- PLASTER FINISH TO BE A MINIMUM OF 1/2" AND CONFORM TO ASTM C-926 AND B.C. TABLE 2512.6. THE PLASTER FINISH TEXTURE SHALL BE STEEL-TROWELED TO SMOOTH UNBULGING FINISH, MISSION STYLE, UNLESS NOTED OTHERWISE. FINISH SHALL BE APPROVED BY OWNER AND ARCHITECT. CONTRACTOR SHALL PROVIDE 2' X 2' SAMPLE FOR APPROVAL.

M. FLOORING

- CERAMIC TILE:** TILE TO BE INSTALLED IN STRICT ACCORDANCE WITH CERAMIC TILE INSTITUTE STANDARDS. VERIFY MANUFACTURER, SIZE, SHAPE, COLOR AND PATTERN WITH OWNER AND ARCHITECT.
- STONE TILE FLOORING: TILE FLOORING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH CERAMIC TILE INSTITUTE STANDARDS TO PREPARED AND COMPLETELY CURED CONCRETE FLOOR. VERIFY SIZE, SHAPE, SPECIES AND PATTERN WITH OWNER AND ARCHITECT.

N. PAINTING

- PROVIDE AND INSTALL "DUNN-EDWARDS", OR EQUAL, PAINT AND STAIN IN FINISHES AND COLORS AS DIRECTED BY THE OWNER AND ARCHITECT IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS BY SKILLED MECHANICS TO COMPLETELY PREPARED SURFACES. HANDLE PAINT PRODUCTS IN A MANNER CONSISTENT WITH LOCAL AND STATE CODES AND ENVIRONMENTAL REGULATIONS.

O. MECHANICAL

- CLOTHES DRYER:**
 - CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14' WITH TWO ELBOWS. THIS SHALL BE REDUCED 2" FOR EVERY ELBOW IN EXCESS OF TWO. 4" DIAMETER MINIMUM, SMOOTH METAL DUCT. DRYER EXHAUSTS SHALL TERMINATE AT LEAST 3 FEET FROM THE PROPERTY LINE AND FROM ANY OPENINGS INTO THE BUILDING.
 - CLOTH DRYER DOOR SHALL HAVE A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKEUP AIR OR BY OTHER APPROVED MEANS. (2010 C.M.C. SEC 504.3.2)
- FORCED AIR UNIT:**
 - COMPARTMENT DIMENSIONS 12" WIDER THAN UNIT, 3" MINIMUM CLEAR OF SIDES AND BACK, 6" MINIMUM CLEAR ALONG FRONT COMPARTMENT CHAMBER SIDE FOR MAINTENANCE AND REPLACEMENT.
 - MINIMUM CLEARANCE TO COMBUSTIBLE CONSTRUCTION FOR LISTED HEAT-PRODUCING EQUIPMENT PER MECHANICAL CODE.
 - NOT ALLOWED IN A BEDROOM, BATHROOM OR CLOSET THAT OPENS INTO ONE OF THESE ROOMS.
 - A CONCRETE SLAB FOR FURNACES SUPPORTED FROM THE GROUND.
- PROVIDE THE FOLLOWING FOR FORCED AIR UNITS IN ATTIC SPACES:
 - SCUTTLE 30"x30" NOT OVER 20 FEET FROM EQUIPMENT.
 - UNOBSTRUCTED PASSAGEWAY 24 INCHES WIDE OF SOLID CONTINUOUS PLYWOOD FLOORING FROM SCUTTLE TO EQUIPMENT AND ITS CONTROL.
 - A LEVEL, UNOBSTRUCTED WORK PLATFORM OF 30 INCHES MINIMUM IN FRONT OF EQUIPMENT WITH 30 INCHES HEAD-ROOM.
 - LIGHT OVER EQUIPMENT WITH SWITCH AT SCUTTLE.
 - FURNACE MUST BE APPROVED FOR ATTIC INSTALLATION BY AN APPROVED TESTING LABORATORY.
 - CLEARANCE TO COMBUSTIBLE WOOD AND FURNACE TO CONFORM TO TESTING AGENCY REQUIREMENTS ON LABEL.
- F.A.U. COMBUSTION AIR OPENINGS AREA OF 1 SQUARE INCH PER 5,000 BTU. 1 SQUARE INCH PER 1,000 BTU (100 MINIMUM) IN CONFINED SPACES. HALF OF OPENING AREA WITHIN 12" OF CEILING AND HALF 12" FROM FLOOR.
- SEPARATE DUCTS SHALL BE PROVIDED FOR UPPER AND LOWER COMBUSTION AIR SUPPLY OPENINGS.
- F.A.U. COMBUSTION AIR FROM OUTSIDE AIR TO COMPARTMENT SHALL BE PROVIDED WITH 1/4" SCREEN AT THE OUTSIDE OPENING. ONE SQUARE INCH PER 4,000 BTU AND 1 SQUARE INCH PER 2,000 FOR HORIZONTAL DUCTS.
- COMBUSTION AIR FROM ATTIC SPACE THROUGH 26 GAUGE GALVANIZED STEEL SLEEVE, UNSCREENED, EXTENDING A MINIMUM OF 6" ABOVE CEILING JOISTS. THE ATTIC SHALL BE PROVIDED WITH ADEQUATE VENTILATION.

8. DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED PER CHAPTER 10 OF THE M.C. BACKDRAFT DAMPERS FOR ALL EXHAUST AND FAN SYSTEMS SHALL BE PROVIDED. MASONRY AND FACTORY BUILT FIREPLACES SHALL BE INSTALLED WITH TIGHT FITTING, CLOSEABLE METAL OR GLASS DOORS, OUTSIDE AIR INTAKE WITH DAMPER, AND FLUE DAMPER. CONTINUOUS BURNING GAS PILOTS ARE PROHIBITED.

- PROVIDE 30" VERTICAL CLEARANCE ABOVE COOKING TOP TO UNPROTECTED COMBUSTIBLE MATERIALS.
- GAS-FIRED SPACE HEATING EQUIPMENT SHALL BE INTERMITTENT IGNITION DEVICES.
- EXHAUST FAN AT BATHS AND SERVICE ROOMS SHALL PROVIDE A MINIMUM OF FIVE AIR CHANGES PER HOUR.
- GAS-FIRED WATER HEATER COMPARTMENTS REQUIRE TWO 100 SQ. IN. NET AIR OPENINGS DIRECTLY FROM OUTSIDE, EACH WITHIN 12" OF TOP AND BOTTOM AND MINIMUM 2" WIDE DOOR.

13. DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 0.01 1/4-INCH (0.48MM) SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. [SECTION 406.1.4.2.]

14. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.

15. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 cfm EXHAUSTED DIRECTLY TO THE OUTSIDE.

16. FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING

1. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL

P. PLUMBING

- INSTALL COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE PLUMBING CODE AND LOCAL CODES. SYSTEM TO INCLUDE HOT AND COLD WATER, WATER HEATER AND RECIRCULATION PUMP, SOIL AND VENT PIPING, GAS PIPING, ETC.
- ALL STEAM AND CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY CIRCULATING DOMESTIC HOT WATER PIPING SHALL BE INSTALLED AS REQUIRED BY THE LATEST EDITION OF THE PLUMBING CODE.
- PLUMBING CONTRACTOR TO COORDINATE WITH THE FRAMING CONTRACTOR TO MINIMIZE MODIFICATION OF THE FRAMING, ESPECIALLY TOP PLATES, SHEAR WALLS AND STRUCTURAL MEMBERS. DRILL SMALLEST HOLE POSSIBLE THROUGH FRAMING.
- WATER HEATER MUST BE STRAPPED FOR LATERAL SUPPORT TO THE WALL, NOT ALLOWED IN ANY BEDROOM, BATHROOM OR ANY CLOSET THAT OPENS TO THESE. [PC 501.3.]
- ALL TOILET COMPARTMENTS SHALL HAVE A MINIMUM OF 30" CLEAR IN WIDTH AND A MINIMUM OF 24" CLEAR IN FRONT OF TOILET. ALSO PROVIDE 15" MIN. BETWEEN THE CENTER OF WATER CLOSET TO ANY SIDE WALL. (CALIF. PLUMB. CODE 401.6)
- BATHTUB TRAP SHALL BE A NON-SLIP JOINT, UNLESS NOTED OTHERWISE.
- ALL PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
- SHOWERS AND TUB-SHOWERS: MAXIMUM TEMPERATURE OF 120° TO BE PROVIDED BY THE USE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES.
- HOSE BIBBS SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW DEVICE.
- MAXIMUM FLOW RATES FOR PLUMBING FIXTURES SHALL BE AS FOLLOWS: TOILETS=ULTRA LOW FLUSH (1.28 GALLONS PER FLUSH), SHOWERHEADS (2.0 GPM) AND FAUCETS (1.5 GPM). [PC 402.5, T-1.]
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. [PER ORDINANCE 111015.3] (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED.
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS, AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON ABSORBANT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. PROVIDE TO INCH HIGH NON-ABSORBANT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- WATERHEATER MUST BE STRAPPED TO A WALL.
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION EXISTING SHOWERHEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- WATERHEATER MUST BE STRAPPED TO WALL.

Q. ELECTRICAL

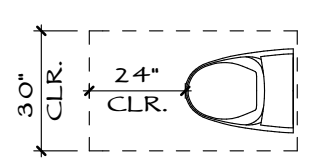
- ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE POWER AND COMMUNICATION COMPANIES.
- ALL EQUIPMENT, SWITCHES AND OUTLETS INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WATERPROOF AND HAVE GROUND FAULT PROTECTION.
- RECEPTACLES SHALL BE INSTALLED VERTICALLY AT 12" AFF., UNO.
- ALL ELECTRICALLY OPERATED FIXTURES, OUTLETS, EQUIPMENT OR DEVICES WHETHER INSTALLED BY THE ELECTRICAL CONTRACTOR OR OTHERS SHALL BE FULLY CONNECTED.
- ALL OUTLETS AT EXTERIOR, GRADE LEVEL ACCESS, IN BATHROOMS, IN GARAGES AND COUNTER TOPS WITHIN 6'-0" OF SINKS SHALL BE GROUND FAULT PROTECTED.
- AT LEAST ONE WALL SWITCH-CONTROLLED LIGHT OUTLET SHALL BE INSTALLED AT THE EXTERIOR SIDE OF OUTDOOR ENTRANCES AND EXITS.
- SETBACK THERMOSTATS SHALL BE INSTALLED.
- RESIDENTIAL LIGHTING: REFER TO "MANDATORY MEASURES" ELSEWHERE ON THESE PLANS FOR LIGHTING REQUIREMENTS.
- PROVIDE A RECEPTACLE OUTLET WITHIN SIX FEET OF ANY POINT ALONG WALLS IN LIVABLE ROOMS.
- PROVIDE STAIRWAY ILLUMINATION. MINIMUM 1 FOOT-CANDLE AT TREAD RUNS. [1205.4.]
- FOR INTERIOR STAIRWAYS, THERE SHALL BE WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHTING OUTLET WHERE THE STAIR WAYS HAS A SIX OR MORE STAIRS. FOR EXTERIOR STAIRWAYS THE ILLUMINATION SHALL BE CONTROLLED FROM INSIDE THE DWELLING UNIT. STAIRWAY LIGHTING AND ACTIVATION PLANS ARE SHOWN ON THE ELECTRICAL PLANS. (SEC. R303.6.1)
- ALL ELECTRICAL WIRING SHALL BE IN FLEX CONDUIT.

R. GLASS AND GLAZING

- ALL GLASS USED FOR GLAZING EXTERIOR OPENING SHALL BE LIMITED IN AREA AND IN THICKNESS AS PER SECTIONS 2403 & 2404.
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. [SECTION 2406.3:]
 - INGRESS AND EGRESS DOORS.
 - PANELS IN SLIDING OR SWINGING DOORS.
 - DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS, ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE.
 - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE.
 - IN WALL ENCLOSING STAIRWAY AND LANDING.
 - GUARDS (GUARDRAILS) AND HANDRAILS.
- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3:
 - FIXED 26" OR GREATER PART OF ANY SWINGING, SLIDING, AND BI-FOLD ASSEMBLIES.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOS BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
 - TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
- GLAZING IN RAILINGS.
- GLAZING IN ENCLOSURES FOR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE WATER'S EDGE.
- GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE EX-PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLOORS OF STAIRS AND RAMPS.
- GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD.

Project

HUNTLEY APARTMENTS
 7323 Huntley Drive,
 West Hollywood, CA 90069



Owner
Farid & Marjan Mir
 8885 Venice Blvd. # 200
 Los Angeles , CA 90034

SIA architectural design

20230 Wells Drive
 Woodland Hills, CA 91364
 t: 818-704-0667
 f: 818-704-0760
 www.siarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or design are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

GENERAL NOTES

10/9/2014
 scale:
 prepared by: R.d.s
 job #: 2013-184

AG-4

[GENERAL NOTES CONTINUED ON NEXT SHEET.]

GENERAL NOTES

Permit Date

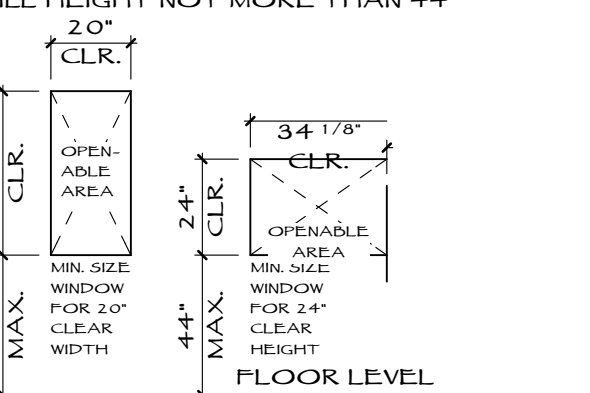
NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

GENERAL NOTES CONTINUED FROM PREVIOUS SHEET.]

- 4. ALL GLASS LESS THAN 18" ABOVE ADJACENT WALKING SURFACE SHALL BE FULLY TEMPERED. [SECTION 2406.3.1.2.]
- 3. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000).
- 4. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS WITH INTEGRAL STROKES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION. (SEC. R 314.4)
- 5. SMOKE ALARMS SHALL BE:
 - a. CENTRALLY LOCATED IN ROOMS AND CORRIDORS GIVING DIRECT ACCESS TO EACH SLEEPING AREA.
 - b. ON CEILING INSIDE EACH SLEEPING ROOM.
 - c. ON EACH STORY OF MULTISTORY DWELLINGS AND IN BASEMENTS.
 - d. WHEN SLEEPING AREAS ARE ON AN UPPER LEVEL, THE ALARM SHALL BE LOCATED IN CLOSE PROXIMITY TO THE STAIRWAY.
 - e. IN ROOMS WITH HIGH OR SLOPED CEILINGS 24" ABOVE THAT OF THE ADJACENT HALLWAY LEADING TO SLEEPING AREAS.
- 6. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT WHICH THEY SERVE.
- 1. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT.
- 8. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARM SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL.

- L. FIREPLACES
 - 1. PREMANUFACTURED FIREPLACES SHALL BE AS SPECIFIED IN PLAN NOTES ON THE FLOOR PLANS), TO INCLUDE OUTSIDE AIR INTAKE WITH DAMPER CONTROL, CHIMNEY FLUE WITH FLUE DAMPER AND CONTROL FLUE CAP WITH SPARK ARRESTOR AND TIGHT-FITTING-CLOSEABLE GLASS DOOR BY THE FIREPLACE MANUFACTURER.
 - 2. PROVIDE CLEARANCE FROM COMBUSTIBLES PER SECTION 2111.1.1, 13.1.6 & 13.4.
 - 3. A MECHANICAL PERMIT FROM MECHANICAL DEPARTMENT HEATING DIVISION IS REQUIRED PRIOR TO THE INSTALLATION OF FACTORY BUILT CHIMNEYS AND FIREPLACES.
 - 4. CHIMNEYS SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR WITH A NET AREA OF OPENING FOUR TIMES THAT OF THE CHIMNEY AND A MAXIMUM 1/2" INCH SCREEN. [SECTION 2113.9.1.]
 - 5. FACTORY BUILT CHIMNEYS SHALL TERMINATE IN A LISTED FACTORY BUILT CHIMNEY CAP. NO OTHER ARCHITECTURAL FEATURE IS PERMITTED WITHOUT THE MANUFACTURERS' APPROVAL.
 - 6. FACTORY BUILT FIREPLACES, CHIMNEYS AND THEIR COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' INSTALLATION INSTRUCTIONS, THE TERMS OF THE LISTING AND APPLICABLE REQUIREMENTS OF THE CODE.
 - 7. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. [SECTION 2113.9.1.]

- V. MISCELLANEOUS
 - 1. U. OCCUPANCY GARAGE:
 - a. SEPARATION FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF A MINIMUM 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. [406.1.4.]
 - b. SEPARATED FROM ALL HABITABLE ROOMS ABOVE AND ADJACENT BY NOT LESS THAN A 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. [406.1.4.]
 - c. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL BE SELF-CLOSING AND SELF-LATCHING, SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1-3/8" THICK, OR HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES. [406.1.4.]
 - d. ALL OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES, PENETRATING THROUGH THE WALLS OR CEILING, SEPARATING THE DWELLING FROM THE GARAGE SHALL BE PROTECTED WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. (SEC. R 302.5.3, R 302.1(4)).
 - e. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLAR (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.
 - f. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
 - 2. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND CEILING OF ENCLOSED USABLE SPACE UNDER STAIRS.
 - 3. EXIT DOORWAYS SHALL BE NOT LESS THAN 3'-0" x 6'-8" (WIDTH x HEIGHT). PROJECTIONS, INCLUDING PANIC HARDWARE, SHALL NOT REDUCE THE OPENING TO LESS THAN 32" CLEAR WIDTH. [SECTION 1009.1.1.]
 - 4. PROVIDE 32" WIDE MIN. DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. [SEC. 1008.1.1.]
 - 5. ONE WINDOW PER BEDROOM SHALL PROVIDE A MINIMUM NET CLEAR OPENABLE AREA OF 5.1 SQ. FT. WITH A MINIMUM NET CLEAR OPENABLE WIDTH OF 20" AND A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24", AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. [SECTION 1026.2.1.]



- 6. ALL INTERIOR AND EXTERIOR STAIRWAYS OR STEPS:
 - a. THE LARGEST RISE OR RUN IN A FLIGHT OF STAIRS MAY NOT EXCEED THE SMALLEST BY MORE THAN 3/8". [SECTION 1009.3.2.]
 - b. THE LANDING AT ENTRY NOT TO EXCEED 1 1/2" LOWER THAN THE FINISH FLOOR AT THE INTERIOR OF THE ENTRANCE, AND SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL, NO LESS THAN 36"
 - c. STAIRS MUST COMPLY TO THE FOLLOWING:
 - i. 1 1/4" RISE & MIN. 10" RUN
 - ii. MIN. 6'-8" HEADROOM CLEARANCE.
 - iii. MIN. 36" CLEAR WIDTH
 - iv. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING.
 - v. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS.
 - vi. MAX. 4" CLEAR SPACING BETWEEN RAILS.
 - d. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R302.1) STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE AND SHALL COMPLY WITH SECTION 1012. WHERE GLASS IS USED TO PROVIDE THE HANDRAIL, THE HANDRAIL SHALL ALSO COMPLY WITH SECTION 2401. [SECTION 1009.1.10.]
 - e. EXCEPTIONS:
 - 1. STAIRWAYS WITHIN DWELLING UNITS, SPIRAL STAIRWAYS AND AISLE STAIRS SERVING SEATING ONLY ON ONE SIDE ARE PERMITTED TO HAVE A HANDRAIL ON ONE SIDE ONLY.
 - 2. DECKS, PATIOS AND WALKWAYS THAT HAVE A SINGLE CHANGE IN ELEVATION WHERE THE LANDING DEPTH ON EACH SIDE OF THE CHANGE OF ELEVATION IS GREATER THAN WHAT IS REQUIRED FOR A LANDING DO NOT REQUIRE HANDRAILS.
 - 3. IN GROUP R-3 OCCUPANCIES, [HCD 1 & 5 FPM] A CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FEWER THAN FOUR RISERS DOES NOT REQUIRE HANDRAILS.
 - 4. CHANGES IN ROOM ELEVATIONS OF ONLY ONE RISER WITHIN DWELLING UNITS AND SLEEPING UNITS IN GROUP R-2 OCCUPANCIES DO NOT REQUIRE HANDRAILS.

- f. TOP OF HANDRAIL SHALL BE PLACED 34" (MIN) TO 38" (MAX.) ABOVE STAIR TREAD NOSING, 1" CLEARANCE TO WALL, 1/4" TO 2" IN CROSS SECTION, SMOOTH SURFACES WITH NO SHARP CORNERS. [SECTIONS 1012.2, 1012.3 AND 1012.6.]
- g. HANDRAIL-GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS. [SECTION 1012.4.]
 - EXCEPTIONS:
 - 1. HANDRAILS WITHIN DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A STAIR LANDING.
 - 2. WITHIN A DWELLING UNIT, THE USE OF A VOLUTE, TURNOUT OR STARTING EASING IS ALLOWED ON THE LOWEST TREAD.
 - h. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT. AT STAIRWAYS WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAILS SHALL EXTEND HORIZONTALLY AT LEAST 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER. [SEC. 1012.5.]
 - EXCEPTION:
 - 1. HANDRAILS WITHIN DWELLING UNITS THAT IS NOT REQUIRED TO BE ACCESSIBLE NEED EXTEND ONLY FROM THE TOP RISER TO THE BOTTOM RISER.
 - i. STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE TREAD NOSING. [SECTION 1009.2.]
 - 7. GUARDS (GUARDRAILS):
 - a. GUARDS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES, MEZZANINES, INDUSTRIAL EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW. GUARDS SHALL ALSO BE PROVIDED ALONG GLAZED SIDES OF STAIRWAYS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW WHERE THE GLAZING DOES NOT MEET THE STRENGTH AND ATTACHMENT REQUIREMENTS IN SECTION 1601.1. [SEC. 1013.1.]
 - b. GUARDS SHALL BE 42" HIGH (MINIMUM) AS MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD OR ADJACENT WALKING SURFACE. [SEC. 1013.2.]
 - EXCEPTION:
 - FOR OCCUPANCIES IN GROUP R-3, AND WITHIN INDIVIDUAL DWELLING UNITS IN OCCUPANCIES IN GROUP R-2, GUARDS WHOSE TOP RAIL ALSO SERVES AS A HANDRAIL SHALL HAVE A HEIGHT NOT LESS THAN 34" AND NOT MORE THAN 38" MEASURED VERTICALLY FROM THE LEADING EDGE OF THE STAIR TREAD NOSING.
 - c. OPEN GUARDS SHALL HAVE BALUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A SPHERE OF 4" IN DIAMETER CANNOT PASS THROUGH ANY OPENING. [SEC. 1013.3.]
 - EXCEPTIONS:
 - 1. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL AT THE OPEN SIDE OF A STAIRWAY SHALL BE OF A MAXIMUM SIZE SUCH THAT A SPHERE OF 6" IN DIAMETER CANNOT PASS THROUGH THE OPENING.
 - 2. AT ELEVATED WALKING SURFACES FOR ACCESS TO AND USE OF ELECTRICAL, MECHANICAL OR PLUMBING SYSTEMS OR EQUIPMENT, GUARDS SHALL HAVE BALUSTERS OR OTHER MATERIALS SUCH THAT A SPHERE WITH A DIAMETER OF 2 1/4" CANNOT PASS THROUGH ANY OPENING.
 - 3. WITHIN INDIVIDUAL DWELLING UNITS AND SLEEPING UNITS IN GROUP R-2 AND R-3 OCCUPANCIES, OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE OF 4.315" TO PASS THROUGH.
 - d. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING PER 1601.1.1 AND 1601.1.1.1.
 - 8. PROVIDE AN 18" HIGH PLATFORM AS SHOWN ON PLAN FOR GAS-FIRED EQUIPMENT (IE. WATER HEATER, ETC.) WHEN INSTALLED IN THE GARAGE. SET THE FLAME LEVEL A MINIMUM OF 24" ABOVE THE FLOOR. USE PLYWOOD WITH "A" FACE FOR PAINTING.
 - 9. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MINIMUM OF 1 INCH (25MM) OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, WITH 50 PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET (914 MM) ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
 - EXCEPTION: THE MINIMUM REQUIRED NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED A VAPOR RETARDER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IN ACCORDANCE WITH ASTM E 96 IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION AND PROVIDED 50 PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET (914 MM) ABOVE EAVE OR CORNICE VENTS, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. [SECTION 1203.2.]
 - 10. ATTIC SPACE WITH CLEAR HEIGHT OF OVER 30" SHALL HAVE AN ACCESS OPENING OF NOT LESS THAN 20" x 30". 30" MINIMUM CLEAR HEADROOM PROVIDED ABOVE THE ACCESS OPENING. [SECTION 1209.2.]
 - 11. WHERE UNDER-FLOOR SPACE OCCURS, PROVIDE UNDER-FLOOR VENTILATION EQUAL TO 1/150 OF THE UNDER-FLOOR AREA MINIMUM (APPROXIMATELY 1/6 SQ. IN. FOR EACH 10 SQ. FT. OF UNDER-FLOOR AREA) WITH 1/4" CORROSION RESISTANT METAL MESH. OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND SHALL PROVIDE CROSS VENTILATION. [SECTION 1203.3.]
 - 12. CRAWL SPACES SHALL BE PROVIDED WITH A MINIMUM OF ONE ACCESS OPENING NOT LESS THAN 18" x 24". [SECTION 1209.1.]
 - 13. DRAFTSTOPPING:
 - a. SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION. [SECTION 1113.3.]
 - b. SHALL BE PROVIDED WITHIN ATTICS, MANARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION. [SECTION 1114.4.]
 - c. SHALL BE REQUIRED ABOVE AND IN LINE WITH WALLS SEPARATING TENANT SPACES FROM EACH OTHER AND FROM OTHER USES. [SECTIONS 1113.2 AND 1114.2.]
 - 14. UNPROTECTED OPENINGS ARE PROHIBITED IN ENVELOPE PROTECTION TYPE CEILINGS. ALL DUCT OPENINGS REQUIRE FIRE DAMPERS AND ARE LIMITED IN AREA TO 100 SQ. IN. IN 100 SQ. FT. OF CEILING. ACCESS OPENINGS REQUIRE 1-HOUR FIRE RATED ASSEMBLIES WITH CLOSING DEVICES APPROVED BY THE DEPARTMENT.
 - 15. DOORS AND WINDOWS BETWEEN CONDITIONED AND OUTSIDE OF UNCONDITIONED SPACES SUCH AS GARAGES AND COMPARTMENTS FOR CENTRAL AIR GAS FURNACES SHALL BE FULLY WEATHER-STRIPPED.
 - 16. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLE-PLATES AND FLOORS AND ALL OTHER OPENING IN THE ENVELOPE. ALL EXTERIOR OPENINGS SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED, AND LABELED.
 - 17. TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 5 INCHES (127 MM).
 - 18. MAXIMUM DRIVEWAY SLOPE OF 20%. GRADE DEPARTS AND TRANSITION SLOPES REQUIRED WHERE SLOPE EXCEEDS 12.5%. MAXIMUM DRIVEWAY CROSS SLOPE IS 10%. MAXIMUM SLOPE WITHIN PARKING AREA IS 5%. [SECTION 12.2.1 AS(G).]
 - 19. PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE. [2113.9.1.]
 - 20. ALL ARCHITECTURAL FEATURES WITH FRAMED HORIZONTAL SURFACES 12" WIDE OR GREATER SHALL HAVE A MINIMUM 1/2" PER 12" SLOPE TO DRAIN AND SHALL BE HOT MOPPED OR RECEIVE TWO LAYERS OF BITUMENE WATERPROOFING AS A PART OF ITS FINISHING INSTALLATION.
 - 21. ALL INTERIOR ROOM SEPARATION WALLS SHALL HAVE R-13 INSULATION AND ALL FRAMED FLOORS SHALL HAVE R-19 INSULATION FOR SOUND ISOLATION.
 - 22. ALL FRAMED FLOORS SHALL HAVE TWO LAYERS OF FLOOR SHEATHING, WHERE TILE FLOORING OR RADIANT FLOOR HEATING SYSTEM IS USED OMIT THE TOP LAYER OF SHEATHING.
 - 23. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL. [1205.1 AND 1205.3.]
 - 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
 - 25. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

- 26. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY.
- 27. A LANDING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF STAIRWAYS. EXCEPTION FOR TOP OF AN INTERIOR FLIGHT OF STAIRS AND STAIRS IN AN ENCLOSED GARAGE (R311.1.5).
- 28. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
- 29. UNDER-FLOOR VENTILATION SHALL NOT BE LESS THAN 1/150 OF UNDER-FLOOR AREA.
- 30. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- 31. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R311.1, BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1
- 32. OPENINGS ARE NOT ALLOWED WITHIN 3/5" FIRE SEPARATION DISTANCE.
- 33. MAXIMUM 25% OPENING AREA IS ALLOWED WHEN THE FIRE SEPARATION DISTANCE IS >3' AND 5'.
- 34. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- 35. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM THE EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- 36. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4.

W. SECURITY NOTES

- 1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. [SECTION 6106.]
- 2. SCREENS, BALUSTERS, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FEET OF THE UTILITY POLE OR SIMILAR STRUCTURES. [SECTION 6101.]
- 3. WOOD FLUSH-TYPE DOORS SHALL BE 1-3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. [SECTION 6101.1.]
- 4. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB. [SECTION 6101.4.]
- 5. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. [SECTION 6108.]
- 6. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NONREMOVABLE HINGE PINS. HINGES SHALL HAVE MINIMUM 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MINIMUM PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2 1/2" LONG. [SECTIONS 6101.5 AND 6101.1.]
- 7. PROVIDE DEADBOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES). [SECTION 6101.2.]
- 8. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES. HOWEVER, IT MUST ALSO COMPLY WITH ADA'S REQUIREMENTS IF REQUIRED PRIOR TO INSTALLATION.
- 9. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. AREA. MULIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULIONS NOT OVER 1 1/2 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8" AND 3" IN WIDTH. [SECTION 6101.1 ITEM 2.]
- 10. SLIDING DOORS AND WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. [SECTIONS 6110 AND 6115.1.]
- 11. SLIDING GLASS DOORS AND WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SECTIONS 6111.1 AND 6111.2.]
- 12. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MINIMUM 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE DOOR, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. [SECTION 6111.]
- 13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. [SECTION 6112.]
- 14. IN B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 INCHES BUT LESS THAN 48 INCHES SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLS. [SECTION 6114.]
- 15. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. [SECTION 6112.]
- 16. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THE SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. [SECTION 6113.]
- 17. LOWERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT ARE AT LEAST ONE DIMENSION OF AT LEAST 5 INCHES, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. [SECTION 6115.3.]
- 18. OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B, F, M, AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 4/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. [SECTION 6115.2.]
- 19. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. [SECTION 6115.4.]
- 20. OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. [SECTION 6116.]
- 21. PROVIDE SECURITY LIGHTING FOR GARAGE AND/OR EXTERIOR PARKING AREA SERVING DWELLING UNITS OR GUESTROOMS AND FOR RECREATION ROOM, SERVICE ROOMS AND OTHER AREAS THAT ARE USED AT NIGHT. LIGHT IS ADEQUATE TO PROVIDE AN AVERAGE SECURITY LIGHTING SHALL HAVE 5 SURFACE ILLUMINATION OF 0.2 FOOT-CANDLES AT THE FLOOR LEVEL.
- 22. ALL OPENINGS IN AN EXTERIOR WALL AND LESS THAN 16 FEET ABOVE ANY ADJOINING GRADE ACCESSIBLE TO THE PUBLIC OR OTHER TENANT, AND OPENINGS IN ENCLOSED PARTITIONS OF A DWELLING UNIT, PRIVATE GARAGE, GUESTROOM OR SINGLE TENANT NONRESIDENTIAL AREA ARE SECURITY OPENINGS. [SEE SECTION 6109 FOR DEFINITION OF SECURITY OPENING.]

- X. ORNAMENTAL IRON AND METAL
 - 1. SIZES, SHAPES, PATTERNS, COLORS AND FINISHES AS SPECIFIED ON PLANS AND/OR AS SELECTED BY THE ARCHITECT.

- 2. SAMPLE(S) OF THE FINISHED PRODUCT SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURE AND INSTALLATION.
 - 3. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO MANUFACTURE AND INSTALLATION.
 - Y. POOL
 - 1. PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS IMMEDIATELY AFTER THE DOOR IS OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. IT SHALL AUTOMATICALLY RESET AND SHALL BE EQUIPPED WITH A MANUAL MEANS TO TEMPORARILY DEACTIVATE (FOR 15 SECONDS MAXIMUM) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR OR A SELF-CLOSING AND SELF-LATCHING FENCE MINIMUM 48" ABOVE THE FLOOR. THE POOL AREA WITH LATCH AT FENCE MINIMUM HEIGHT. (4" MAXIMUM OPENING BETWEEN RAILS). [P/BC 2008-014.]
 - 2. PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME IS REQUIRED FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER THE ASSEMBLY BILL (AD) NO. 2411.
 - Z. FIRE PROTECTION
 - 1. PROVIDE FIRE SPRINKLERS THROUGHOUT. THE SPRINKLER SYSTEM SHALL BE APPROVED BY THE PLUMBING DIVISION PRIOR TO INSTALLATION. [12.2.1 A1 1(d), 902.3.1.]
 - 2. TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR THE FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR REQUESTING A FOUNDATION INSPECTION WHEN SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.
 - 3. PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE. [L.A.M.C. 5.1.20.25.]
 - 4. PROVIDE AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM ON ANY LOT FRONTING A SUBSTANDARD HILLSIDE LIMITED STREET OR LOCATED EITHER MORE THAN 2 MILES FROM A FIRE STATION HOUSING A LOS ANGELES CITY FIRE DEPARTMENT TRUCK COMPANY OR MORE THAN 1 - 1/2 MILES FROM A FIRE STATION HOUSING A LOS ANGELES FIRE DEPARTMENT ENGINE COMPANY WITH SCOPE AS LISTED BELOW:
 - 1. IN ADDITION TO EXISTING ONE-FAMILY DWELLING OR ACCESSORY BUILDING THAT INCREASES RESIDENTIAL FLOOR AREA BY 50% OR MORE OF THE EXISTING FLOOR AREA.
 - 2. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA 13D.
 - 3. THE PRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION
 - 5. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA 13D.
 - 6. THE PRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION
 - AA. GRAPFITTI RESISTANT FINISH
 - 1. PROVIDE GRAPFITTI RESISTANT FINISH FOR THE FIRST 4 FEET OF EXTERIOR WALLS:
 - a. ALPHATIC POLYURETHANE TOP COAT, GCP 1009 BY GENESIS COATINGS, INC. (800) 533-4213, L.A.R.R. #25042-2. CLEAR OR COLOR TO BE SELECTED BY OWNER; OR
 - b. DUNN-EDWARDS IP631 ULTRASHIELD CLEAR COATING BY DUNN-EDWARDS CORPORATION, (888) 331-2468, L.A.R.R. #25162-2.
 - BB. SPECIAL USE OR AREAS
 - 1. VERY HIGH FIRE HAZARD SEVERITY ZONE [101A.3.2, 1201.2]. BASED ON CITY MAPS, THIS PROJECT IS LOCATED WITHIN VERY HIGH FIRE HAZARD SEVERITY ZONE. IT SHALL COMPLY WITH REQUIREMENTS OF MATERIALS, SYSTEMS AND CONSTRUCTION METHODS OF CHAPTER 12 AND CHAPTER 13.
 - a. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. [1201.4, 1505.]
 - b. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH WIDE (9.14 MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 12 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. [104A.1.3.]
 - c. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [104A.1.5.] ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. (SDMC SEC. 145.0104)
 - d. ROOF, ATTIC, EXTERIOR WALL VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4-INCH (6 MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES. [104A.2.1, 104A.3.2.1, 104A.2.2, 1201.3.]
 - e. EAVE AND CORNICE VENTS SHALL RESIST THE REQUIREMENTS OF SPM 12-1A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE. [104A.2.3.]
 - f. FOR OPEN ROOF EAVES THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES, OTHER THAN AT GABLE ENDS, SHALL COMPLY WITH ONE OF THE OPTIONS IN SECTION 1014-4 (C.R.C. R 321.1.4) AND BE CONSTRUCTED WITH OR COVERED WITH NONCOMBUSTIBLE MATERIALS, OR WITH IGNITION RESISTANT MATERIAL AS DEFINED IN CMC SECTION 102 A/C.R.C. R 321.2. ALTERNATIVELY SHOW A ONE-HOUR PROTECTED EAVE. (C.C. 101A.4/C.R.C. R 321.1.4.1, 321.2.3)
 - g. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SPM 12-1A-1. [104A.3.1.]
 - h. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. [104A.3.2.]
 - i. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SPM 12-1A-2. [104A.3.2.2.]
 - j. EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF SPM 12-1A-1 OR SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/2 INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM 32014. (EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICLE ACCESS DOORS). [104A.3.2.3.]
 - k. DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON-COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SECTION 104A.4.1.
 - l. THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE. [104A.4.2.1.]
 - m. EXCEPT FOR ARCHITECTURAL TRIM BOARDS, THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILING SHALL BE PROTECTED WITH POACH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SPM STANDARD 12-1A-3 (C.C. 101 A.6/C.R.C. R 321.1.6 + 5)
 - n. BUILDINGS SHALL HAVE ALL UNDER-FLOOR AREAS COMPLETELY ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR EXTERIOR WALL. [104A.4.2.2, 1201.1.]
 - o. SURFACES REGULATED IN CMC SECTION 104 A.3/C.R.C. R 321.1.3+1, SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SPM STANDARD 12-1A-4 AND SPM STANDARD 12-1A-5. (C.C. 104 A.3/C.R.C. R 321.1.3+1)
- CC. CARBON MONOXIDE ALARMS
 - 1. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
 - 2. SINGLE AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075. (SEC. 315.3)
 - 3. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PRIMARY ELECTRICAL SERVICE AND AT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION. (SEC. R 15.1.1.)
 - 4. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTUATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. (SEC. R 315.2.2)
 - 5. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles , CA 90034

CITY OF WEST HOLLYWOOD MINIMUM GREEN BUILDING REQUIREMENTS:

1. CONSTRUCTION AND DEMOLITION WASTE.
PROJECTS SHALL DIVERT A MINIMUM OF 80% OF ALL CONSTRUCTION AND DEMOLITION WASTE AWAY FROM LANDFILLS IN ACCORDANCE WITH THE STANDARDS SET BY THE DEPARTMENT OF PUBLIC WORKS.

2. STORM DRAINS.
STORM DRAINS IN THE PUBLIC RIGHT OF WAY ADJACENT TO THE PROJECT SITE SHALL BE LABLED IN ACCORDANCE WITH THE STANDARDS SET BY THE DEPARTMENT OF PUBLIC WORKS.

3. FUTURE PHOTOVOLTAIC.
PROJECTS SHALL PROVIDE A ROOF LAYOUT PLAN THAT ILLUSTRATES HOW FUTURE INSTALLATION OF A PHOTOVOLTAIC SYSTEM COULD BE ACCOMMODATED. PROJECTS SHALL INTALL A CONDUIT FROM THE ROOF TO THE ELECTRICAL ROOM, OR ELECTRICAL PANELS IF NO ELECTRICAL ROOM IS PROVIDED, TO ACCOMMODATE FUTURE PHOTOVOLTAIC SYSTEM INSTALLATION. TENANT IMPROVEMENTS ARE EXEMPT FROM THIS REQUIREMENT.

4. CONSTRUCTION AIR QUALITY MANAGEMENT PLAN.
PROJECTS SHALL INSTALL PROVIDE A CONSTRUCTION AIR QUALITY MANAGEMENT PLAN ON THE CONSTRUCTION DRAWINGS THAT, AT A MINIMUM, INCLUDES PROTECTING DUCTS DURING CONSTRUCTION AND CHNAGING THE FILTERS AND VACUUMING DUCTS PRIOR TO OCCUPANCY.

5. INTERIOR PAINTS AND WOOD FINISHES.
PROJECTS SHALL USE INTERIOR PAINTS AND WOOD FINISHES WITH LOW VOLATILE ORGANIC COMPOUND LEVELS THAT DO NOT EXCEED 50 GRAMS PER LITER FLAT, OR 150 GRAMS PER LITER NON-FLAT. THIS SHALL BE NOTED ON THE APPROVED PLANS.

6. ENERGY STAR APPLIANCES.
APPLIANCES PROVIDED IN RESIDENTIAL AND MIXED-USE PROJECTS, AND COMMERCIAL PROJECTS AS APPROPRIATE, SHALL BE ENERGY STAR QUALIFIED APPLIANCES.

7. PERMEABLE SURFACES.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN SECTION 1 9.20.1 90 (STORM DRAINAGE AND STORM WATER RUNOFF) AND SECTION 1 9.36.2 80.B.5 (FRONT YARD PAVING).

8. WATER CONSERVATION.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN SECTION 1 9.20.060 (PLANT MATERIALS), SECTION 1 9.2.6.0 10 (IRRIGATION AND WATER CONSERVATION), AND CHAPTER 1 5.52 (WATER CONSERVATION PLAN).

9. STORM WATER DIVERSION.
PROJECTS SHALL COMPLY WITH ALL THE APPLICABLE REQUIREMENTS IN SECTION 90.20.1 90 (STORM DRAINAGE AND STORM WATER RUNOFF) AND IN CHAPTER 1 5.5 6 (STORM WATER AND URBAN RINOFF POLLUTION CONTROL).

10. ALTERNATIVE TRANSPORTATION.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN SECTION 1 9.2.8.1 50 (BICYCLE PARKING AND SUPPORT FACILITIES).

11. WATER SAVING FEATURES.
PROJECTS SHALL COMPLY WITH APPLICABLE REQUIREMENTS FOR UTILIZING LOW-FLOW SHOWERHEADS, FAUCETS AND WATER CLOSETS AS ADOPTED BY SECTION 1 3.1 2.030 (i) AND (j).

12. RECYCLABLE MATERIALS STORAGE.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN SECTION 1 9.20.1 80 (SOLID WASTE AND RECYCLABLE MATERIALS STORAGE) AND SECTION 1 9.36.2 80 (B) (1 0) (SOLID WASTE RECYCLING).

13. ENERGY EFFICIENT OUTDOOR LIGHTING.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN SECTION 1 9.20.1 00 (A) (3) (OUTDOOR LIGHTING).

14. PARKING LANDSCAPING FOR SURFACE PARKING AREAS.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN SECTION 1 9.2.8.1 00 (B) (PARKING AREA LANDSCAPING REQUIREMENTS).

15. TRANSPORTATION DEMAND MANAGEMENT.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF CHAPTER 1 0.1 6 (TRANSPORTATION DEMAND MANAGEMENT).

16. CONSTRUCTION DEBRIS CONTROL.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN SECTION 1 3.04.040 (CONSTRUCTION DEBRIS CONTROL).

17. INDOOR AIR QUALITY MANAGEMENT.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN CHAPTER 1 5 (ENVIRONMENTAL PROTECTION, POLLUTION , AND SOLID WASTE).

18. ENERGY EFFICIENCY.
PROJECTS SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE MOST RECENT EDITIONS OF THE TITLE 24 ENERGY EFFICIENCY STANDARDS, AND MOST RECENT EDITIONS OF THE WEST HOLLYWOOD BUILDING, ELECTRICAL, MECHANICAL, AND PLUMBING CODES.

www.weho.org/greenbuilding WEST HOLLYWOOD GREEN BUILDING PROGRAM POINT SYSTEM

CATEGORY & POINTS AVAILABLE	GREEN DESIGN OR PRODUCT DESCRIPTION	POINTS REC'D	PAGE NUMBER ON PLANS
SITE LOCATION	Locate buildings close to existing services to reduce environmental impacts from transportation and fully utilize infrastructure. Preserve or restore existing natural resources or amenities on the site. Ensure that the building is equipped to support recycling, alternative transportation, water conservation and other operations components.		
	1 to 3 Preserve Existing Trees Over 6' Diameter (1 pt/tree; 3 pts max.)		
	1 Use Recycled Content Mulch or Other Landscape Amendments	1	
Total Points Available		1	
NATURAL HEATING + COOLING	Reduce energy loads while maintaining comfort through passive design strategies. Increase interior comfort and health through adequate ventilation.		
	5 Plant Deciduous Canopy Trees (min. 36" box, planted in the ground) on Exposed West and/or South Elevations (1 pt/tree; 5 pts max.)	5	
	5 Provide Narrow Floor Plates (max. 50 ft. depth) and/or Courtyards to Enable Natural Ventilation	5	
	2 Provide Operable Windows to Enable Natural Cross Ventilation (min. 20% of total window area)	2	A-1.7
	2 Install Exterior Shading Devices on South- and/or West-Facing Windows		
	2 Provide Ceiling Fans (1 pt for each 50% of units or floor area served; 2 points max.)		
	3 Eliminate Air Conditioning (available only if points for narrow floor plates, operable windows, and exterior shading are incorporated)		
Total Points Available		12	
FOUNDATION	Reduce resources used and encourage use of recycled-content materials.		
	1 Use Recycled-Content Base or Backfill Material		
	3 Incorporate Flyash or Slag Ash in Concrete (min. 15%)		
	2 Increase Flyash Percentage (1 pt for each additional 5%)		
Total Points Available		0	
STRUCTURAL FRAME	Reduce the amount of old growth sawn wood (wider than 3x and taller than 8x) used in framing, encourage ecologically sensitive forestry, and encourage alternate framing techniques.		
	5 Use Engineered Lumber or Steel for minimum of 90% of subfloors, sheathing, floor joists, beams, headers, and trusses, as applicable.		
	2 Use Engineered Vertical Wood Studs		
	5 Use FSC-Certified Wood for Framing (1 pt for every 10% of framing lumber; max. 5 pts)		
	2 Use Structural Insulated Panels (SIPs)		
Total Points Available		0	
PLUMBING	Increase the water efficiency of plumbing fixtures and reduce energy used for water heating.		
	1 Insulate the full length of all hot water pipes.	1	
	1 Install Low-Flow Showerheads (< 2.5 gpm)	1	
	1 Install Water Efficient Kitchen & Bathroom Faucets (<2.5 gpm)	1	
	1 Install Water Efficient Toilets (Dual-flush or <1.3 gpf)	1	
	2 Install Water Efficient Urinals (1 pt for 0.5 gpf; 2pts for water-free)		
	2 Install Tankless Water Heaters	2	
Total Points Available		6	

1 As of 10/2007

www.weho.org/greenbuilding WEST HOLLYWOOD GREEN BUILDING PROGRAM POINT SYSTEM

CATEGORY & POINTS AVAILABLE	GREEN DESIGN OR PRODUCT DESCRIPTION	POINTS REC'D	PAGE NUMBER ON PLANS
ROOFING	Provide roofing materials that are durable, reduce resource use, minimize interior heat gain, provide storm water management, and reduce the urban heat island effect.		
	2 Use Recycled-Content Roofing Materials	2	
	2 Install Energy Star or Cool Roof	2	
	3 Install Durable Roof with Long-Term Warranty or Demonstrated Long-Term Durability (40-yr warranty for asphalt shingles, 15-yr warranty for built-up roof, metal or clay tile)	3	
	6 Install Extensive Vegetated Green Roof (3 pt/each 50% of roof not occupied by mechanical equip. or access stairs)		
	8 Install Intensive Vegetated Green Roof (4 pt/each 50% of roof not occupied by mechanical equip. or access stairs)		
Total Points Available		7	
EXTERIOR FINISH	Encourage durable materials than do not require frequent maintenance.		
	3 Use Durable Exterior Finishes (1 pt/30% of exterior area) including Integral-Color or Uncoated Impainted Stucco, Fiber-Cement Panels or Siding, Metal Panels or Siding, Composite Wood Panel, Glass, and other similar durable finishes.	3	
	1 Use Recycled-Content or FSC-Certified Outdoor Flooring Materials.	1	
Total Points Available		4	
INTERIOR FINISH	Reduce the use of natural resources, use rapidly renewable materials, and encourage ecologically sensitive forestry.		
	5 Use Exposed Concrete as Finished Floor (1pt/each 20%)		
	3 Use Resource-Efficient Flooring or FSC-Certified Wood Flooring for All Wood Flooring (1 pt/30% of floor area). Resource efficient includes rapidly renewable materials, recycled-content carpet or flooring tiles (min. 25% recycled content).	3	
	3 Use agriculture board, FSC certified, or rapidly renewable cabinetry material	3	
	1 Use Recycled-Content Countertop Materials (min. 25% recycled content)	1	
Total Points Available		7	
INNOVATIVE DESIGN	Allow for innovation in design, building systems, and materials. Add additional green design principles through innovative approaches.		
Total Points	TBD, 8 points max.	0	
TOTAL POINTS AVAILABLE	TOTAL POINTS EARNED	64	
	MANDATORY POINTS FOR COMPLIANCE	60	
	POINTS NEEDED FOR INCENTIVES	90	

3 As of 10/2007

www.weho.org/greenbuilding WEST HOLLYWOOD GREEN BUILDING PROGRAM POINT SYSTEM

CATEGORY & POINTS AVAILABLE	GREEN DESIGN OR PRODUCT DESCRIPTION	POINTS REC'D	PAGE NUMBER ON PLANS
INSULATION	Reduce energy losses through the building envelope and improve occupant comfort. Promote better indoor air quality. Increase use of recycled content and rapidly renewable materials.		
	1 Install Formaldehyde-Free, Recycled-Content (min. 25%) Insulation	1	
	2 Install Cellulose, Cotton Batt, Bio-Based Foam in walls (min. 60% of insulation)	2	
	2 Install Cellulose, Cotton Batt, Bio-Based Foam in ceilings (min. 60% of insulation)	2	
Total Points Available		5	
ENERGY EFFICIENCY + RENEWABLE ENERGY	Reduce climate change impacts of building operation by increasing overall building energy efficiency and generating renewable energy. Provide for the future installation of renewable energy systems.		
	5 Exceed Title 24 Energy Code by 5%		
	15 Exceed Title 24 Energy Code by More Than 5% (1 pt for each additional 1% above 5% - max. 15 pts)		
	3 Participate in Energy Star (residential) or Savings By Design (commercial) Programs	3	
	1 Pre-Plumb and Provide Conduit for Solar Water Heating		
	2 Install Solar Water Heating System for Domestic Hot Water		
	2 Install Solar Water Heating System for Pool Heating		
	10 Install Photovoltaic (PV) Panels (1 pt/kW ; max. 10 pts)		
	3 Install Energy Star Lighting (50% of total fixtures)	3	
	1 Install Energy Star Exit Signs		
	1 Install Energy Star Programmable Thermostats	1	
	1 Install Timer or Photo Sensor for Exterior Lights	1	
	1 Seal all Ducts with Mastic (residential) or install per SMACNA standards (commercial)	1	
Total Points Available		9	
INDOOR AIR QUALITY	Increase quality of indoor air by reducing exposure to toxic chemicals. Decrease concentration of toxins and dust through ventilation and filtration.		
	2 Use No-VOC Paints on Interior Applications (<= 5 g/l)	2	
	2 Use Low-VOC Sealants and Adhesives (<= 50 g/l)	2	
	2 Use Composite Wood with No Added Urea Formaldehyde for Countertops and Cabinets	2	
	1 Use Carpet Certified by CRl Green Label Program		
	2 Eliminate the Use of Carpet	2	
	2 Vent Kitchen Range Hoods to the Outside (min. 80% of units)	2	
	1 Install Fan with Humidistat Sensor or Timer in all Bathrooms	1	
	1 Install High Efficiency HVAC Filters (min. MERV 8) or Provide Ductless System	1	
	1 Provide Daylighting for 50% of occupied spaces	1	
Total Points Available		13	

2 As of 10/2007

www.weho.org/greenbuilding WEST HOLLYWOOD GREEN BUILDING PROGRAM POINT SYSTEM

CATEGORY & POINTS AVAILABLE	GREEN DESIGN OR PRODUCT DESCRIPTION	POINTS REC'D	PAGE NUMBER ON PLANS
MANDATORY POINTS			
	Provide Secure Bike Parking (1 space/7 employees or 10,000 sq. ft. or 1 space/ 4 dwelling units).	NA	
	Label Storm Drains Adjacent to the Property.	NA	
	Provide Roof Location and Install Conduit from Roof to Electrical Room for Future Photovoltaic System (PV) Installation.	NA	
New Code Requirements as part of Green Building Ordinance, effective October 1, 2007	0 Install Energy Star Appliances - Refrigerator, Washing Machine, Dishwasher.	NA	
	0 Provide Construction Air Quality Management Plan in Specs (at a minimum protect ducts during construction and change filters and vacuum ducts prior to occupancy).	NA	
	0 Use Low-VOC Interior Paints and Wood Finishes (<= 50 g/l flat; <= 150 g/l non-flat).	NA	
	0 Provide owner or tenant with a Green Features/Benefits Manual.	NA	
	0 Provide Space for the Collection and Storage of Recyclables.	NA	
	0 Provide preferential parking for alternative fuel vehicles (min. 2% of total spaces for commercial lots with more than 25 spaces).	NA	
	0 Divert Construction and Demolition Waste (min. of 80%).	NA	
	0 Provide Construction Site Storm Water Management Plan.	NA	
	0 Provide Permeable Surfaces in Required Yards (55% of front and 50% of side).	NA	
Existing Code Requirements for Green Building (still applicable)	0 Use infiltration, biofiltration or equivalent flow reduction treatment BMP for the runoff resulting from either the first 0.75 inches of rainfall or the runoff resulting from a continuous rainfall event of 0.2 inches per hour.	NA	
	0 Replace Existing Trees over 6" in Diameter that are Removed for Development (min. 24" box planted in the ground).	NA	
	0 Use Drought Tolerant and Native Species for Landscaping.	NA	
	0 Install Water-Efficient Irrigation System.	NA	
	0 Parking Landscaping for Surface Parking Areas - Projects must comply with all applicable requirements. See Section 19.28.100(B) on Parking Area Landscaping Requirements.	NA	
	0 Transportation Demand Management - Projects must comply with applicable requirements. See Chapter 10.1.6 on Transportation Demand Management.	NA	
No Points Received for these mandatory measures.			

4 As of 10/2007

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles , CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA. SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professionals guidance with ambiguities, or conflicts which are alleged.

GREEN BUILDING NOTES AND LEED CHECKLIST

10/9/2014

scale:

prepared by: R.d.S

job #: 2013-184

AG-6

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner
Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034

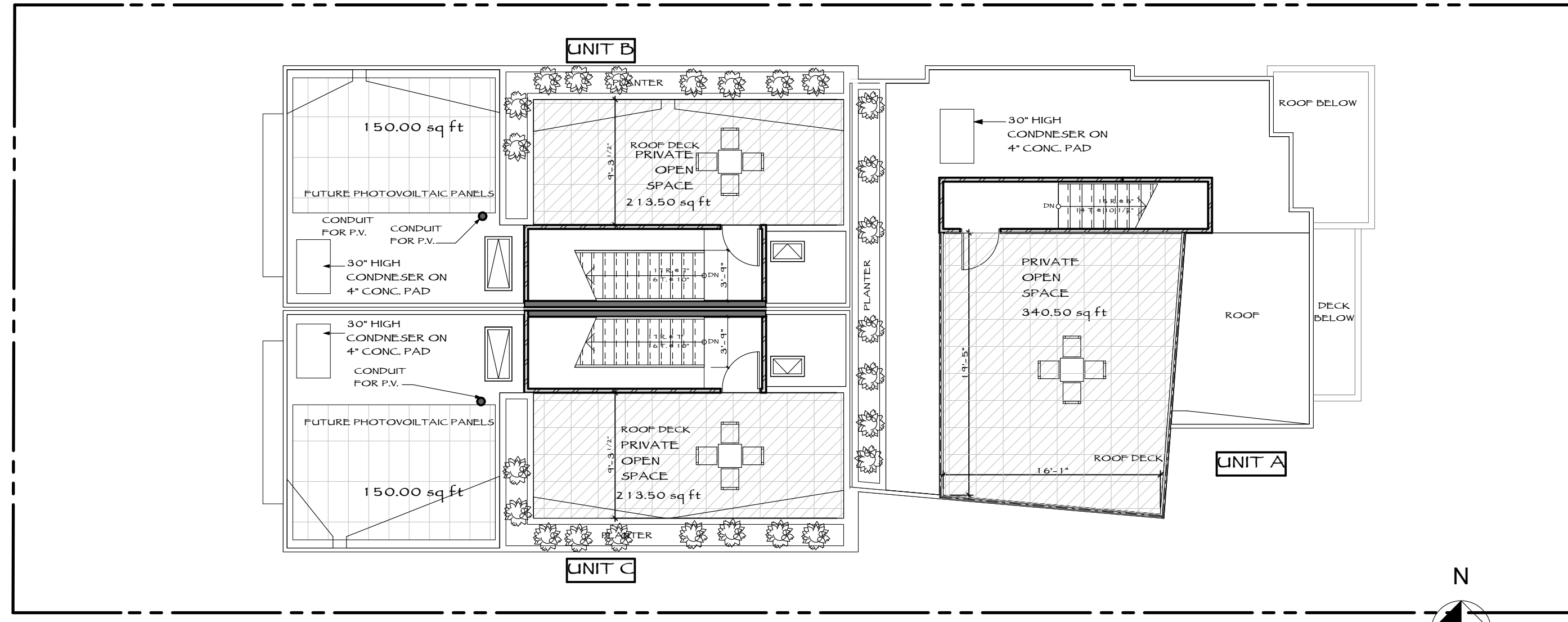
SIA
architectural
design
20230 Wells Drive
Woodland Hills, CA
91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA
All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.
SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

OPEN SPACE CALCULATIONS

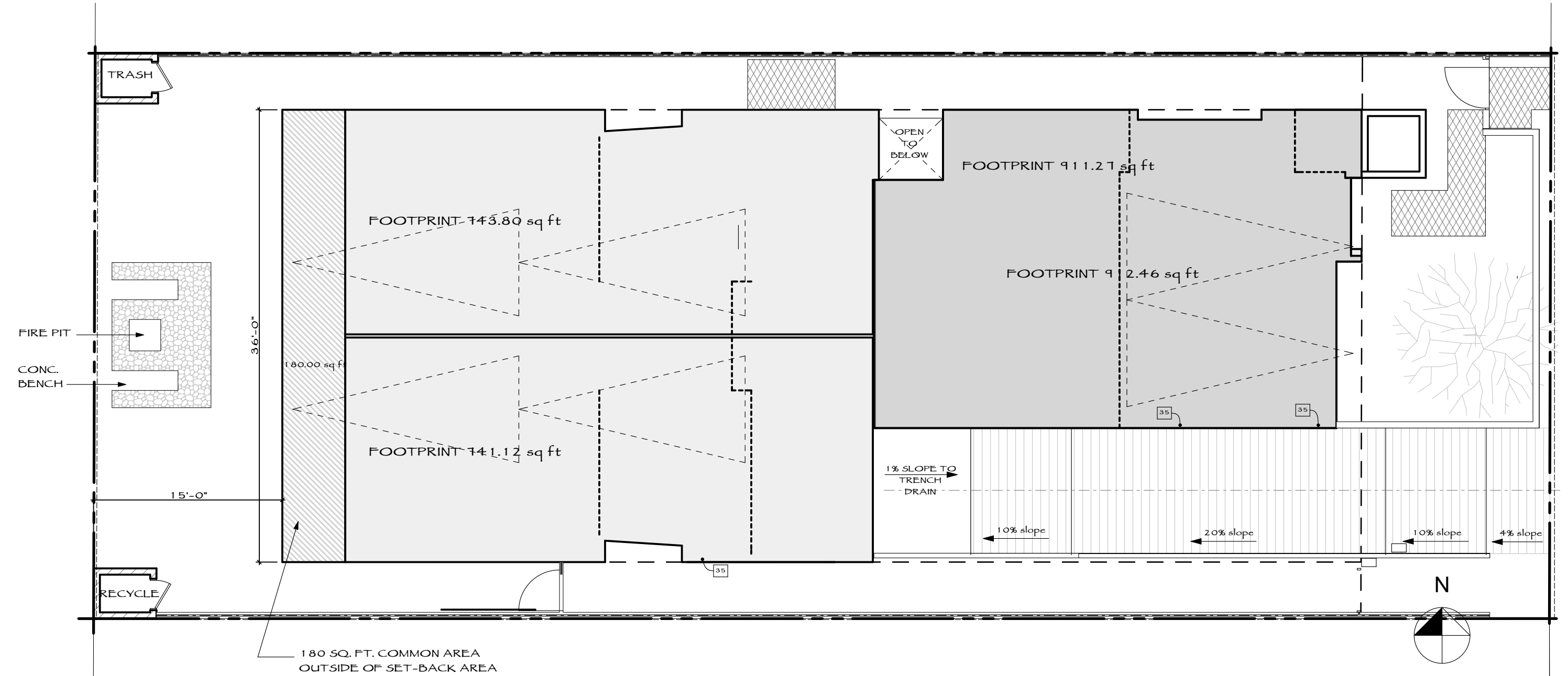
10/9/2014
scale:
prepared by: R.d.S
job #: 2013-184

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



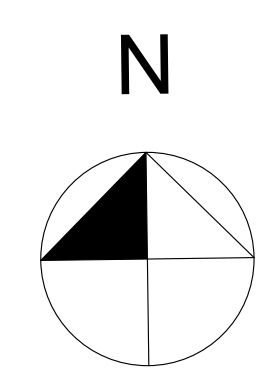
PRIVATE OPEN SPACES ON ROOF DECK

UNIT	A	B	C
REQ'D PRIVATE OPEN SPACE AREA	120.00	120.00	120.00
PROVIDED PRIVATE OPEN SPACE AREA	329.00	213.50	213.50



COMMON AREA OPEN SPACE ON 1ST FLOOR

REQ'D COMMON OPEN SPACE AREA	200.00
PROVIDED COMMON OPEN SPACE AREA (PER 10% MODIFICATION)	180.00



NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



A minimal line and form gives this outdoor wall light an unbeatable contemporary appeal. It features a sleek titanium finish exterior and twin bulbs in a stacked format. ADA compliant. Also conforms to "Dark Sky" light pollution design specs. From the Hinkley outdoor light collection.

- Titanium finish.
- ADA and Dark Sky compliant.
- From the Hinkley outdoor light collection.
- Includes two 20 watt MR-16 bulbs.
- 16" high.
- 6" wide.
- Extends 3 1/2" from the wall.



EXTERIOR LIGHT FIXTURES

WINDOW SCHEDULE

Window List								
ID	Typ.	Size		Mat.	Finish	Gl.	No.	Remarks
		W	H					
A	F	6'-0"	6'-0"	Al.	Paint	dg/t	1	
B	Aw/F	8'-0"	2'-0"	Al.	Paint	dg/t	1	
C	Aw/F	8'-0"	6'-6"	Al.	Paint	dg/t	2	
D	Aw/F	3'-0"	1'-6"	Al.	Paint	dg/t	1	
E	F	4'-6"	1'-6"	Al.	Paint	dg/t	1	
F	Ca	2'-6"	4'-6"	Al.	Paint	dg	1	
G	F	1'-1 3/4"	4'-0"	Al.	Paint	dg/t	1	Corner Window
H	F	3'-0"	6'-0"	Al.	Paint	dg/t	1	
I	F	4'-0"	4'-0"	Al.	Paint	dg/t	1	Corner Window
J	Ca	2'-0"	4'-0"	Al.	Paint	dg	1	
K	F	3'-0"	1'-6"	Al.	Paint	dg/t	1	Corner Window
L	F	4'-6"	1'-6"	Al.	Paint	dg/t	1	Corner Window
M	F	1'-2"	8'-0"	Al.	Paint	dg/t	1	Corner Window
M	F	1'-2"	8'-1"	Al.	Paint	dg/t	1	Corner Window
N	F	2'-0"	8'-0"	Al.	Paint	dg/t	2	Corner Window
O	F	3'-0"	4'-6"	Al.	Paint	dg/t	1	Corner Window
P	F	3'-4"	4'-6"	Al.	Paint	dg/t	1	Corner Window
Q	F	6'-0"	6'-0"	Al.	Paint	dg/t	2	

Legend:

A = Awning	Sh = Single-hung	sg = single glazed
C = Casement	sl = Sliding glass	obs = obscured glass
Dh = Double-hung	T = Transom	t = tempered glass
F = Fixed	PC = Fixed corner	dg = dual glazed

Notes:
 1. At least one opening per bedroom shall provide a minimum net clear openable area of 5.7 sq. ft. with a minimum net clear openable width of 20" and a minimum net clear openable height of 24", and a finished sill height not more than 44" above the floor.

ID	A	B	C	D	E	F	G
W x H Size	6'-0"x6'-0"	8'-0"x2'-0"	8'-0"x6'-6"	3'-0"x1'-6"	4'-6"x1'-6"	2'-6"x4'-6"	1'-1 3/4"x4'-0"
ELEVATION							
ID	H	I	J	K	L	M	M
W x H Size	3'-0"x6'-0"	4'-0"x4'-0"	2'-0"x4'-0"	3'-0"x1'-6"	4'-6"x1'-6"	1'-2"x8'-0"	1'-2"x8'-1"
ELEVATION							
ID	O	P	Q	R			
W x H Size	3'-0"x4'-6"	3'-4"x4'-6"	6'-0"x6'-0"	6'-0"x4'-6"			
ELEVATION							

DOOR SCHEDULE

Door List								
ID	Typ.	Size			Mat.	Gl.	No.	Remarks
		W	H	Thk.				
1	Sc/Ex	3'-6"	8'-0"	1 3/4"	Wd	-	3	Front Entry
2	Sl/Ex	12'-0"	8'-0"	1 3/4"	Al./Gl.	dg/t	1	
2	Sl/Ex	12'-0"	8'-0"	1 3/4"	Al./Gl.	dg/t	1	
3	Sl/Ex	8'-0"	8'-0"	1 3/4"	Al./Gl.	dg/t	2	
4	Sl/Ex	8'-9"	8'-0"	1 3/4"	Al./Gl.	dg/t	1	
5	Sc/In	3'-0"	7'-0"	1 3/4"	Wd	-	3	
5	Sc/In	3'-0"	7'-0"	1 3/4"	Wd	-	3	20 Min. Door & Frame, Self-Closing & Latching in Basement
6	Sc/In	3'-0"	8'-0"	1 3/4"	Wd	-	12	
7	Sc/In	2'-10"	8'-0"	1 3/4"	Wd	-	4	
8	Sc/In	2'-6"	8'-0"	1 3/4"	Wd	-	2	
9	Sc/In	2'-8"	8'-0"	1 3/4"	Wd	-	6	
10	Sl/W	6'-0"	8'-0"	1 3/4"	Wd	-	1	
11	Sl/W	5'-0"	8'-0"	1 3/4"	Wd	-	2	
12	Sl/W	8'-0"	8'-0"	1 3/4"	Wd	-	2	
13	Sc/In	3'-0"	5'-6"	1 3/4"	Wd	-	3	20 Min. Door & Frame, Self-Closing & Latching in Basement

Legend:

En = Entry door	Oh = Overhead roll-up garage door	Pk = Pocket door
Ex = Exterior door	Rp = Panel door	dg = dual glazed
ExB = Exterior bifold door	Sc = Solid core slab door	sg = single glazed
Fr = French door	Sl = Sliding glass door	obs = obscured glass
In = Interior door	W = Wardrobe	t = tempered glass

Notes:
 1. Exit doors shall be openable from the inside without use of a key or any special knowledge or effort. Title 24, 1003.3.1.B.
 2. Width and height of required exit doorways to comply with Title 24, 1003.3.1.3.
 3. Provide 32" wide doors to all interior accessible rooms.

ID	1	2	3	4	5	6
W x H Size	3'-6"x8'-0"	12'-0"x8'-0"	8'-0"x8'-0"	8'-9"x8'-0"	3'-0"x1'-0"	3'-0"x8'-0"
ELEVATION						
ID	7	8	9	10	11	12
W x H Size	2'-10"x8'-0"	2'-6"x8'-0"	2'-8"x8'-0"	6'-0"x8'-0"	5'-0"x8'-0"	8'-0"x8'-0"
ELEVATION						
ID	13	14	15	16		
W x H Size	3'-0"x5'-6"	2'-8"x6'-10"	16'-0"x11'-0"	9'-6"x8'-2"		
ELEVATION						

Permit Date

Project

HUNTLEY APARTMENTS
 723 Huntley Drive,
 West Hollywood, CA 90069

Owner

Farid & Marjan Mir
 8885 Venice Blvd. # 200
 Los Angeles, CA 90034



20230 Wells Drive
 Woodland Hills, CA
 91364
 t: 818-704-0667
 f: 818-704-0760
 www.siaarchdesign.com

© 2010 SIA

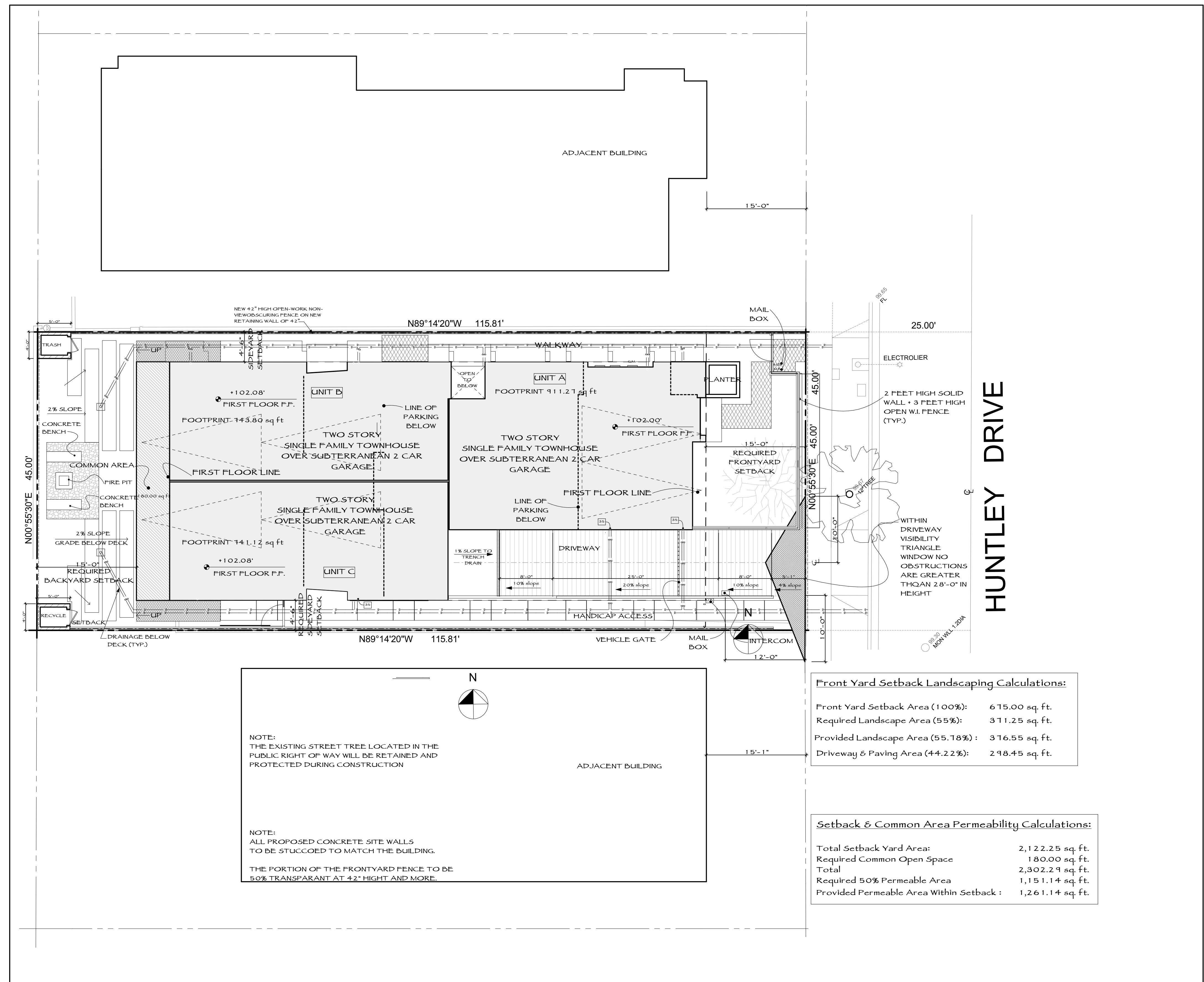
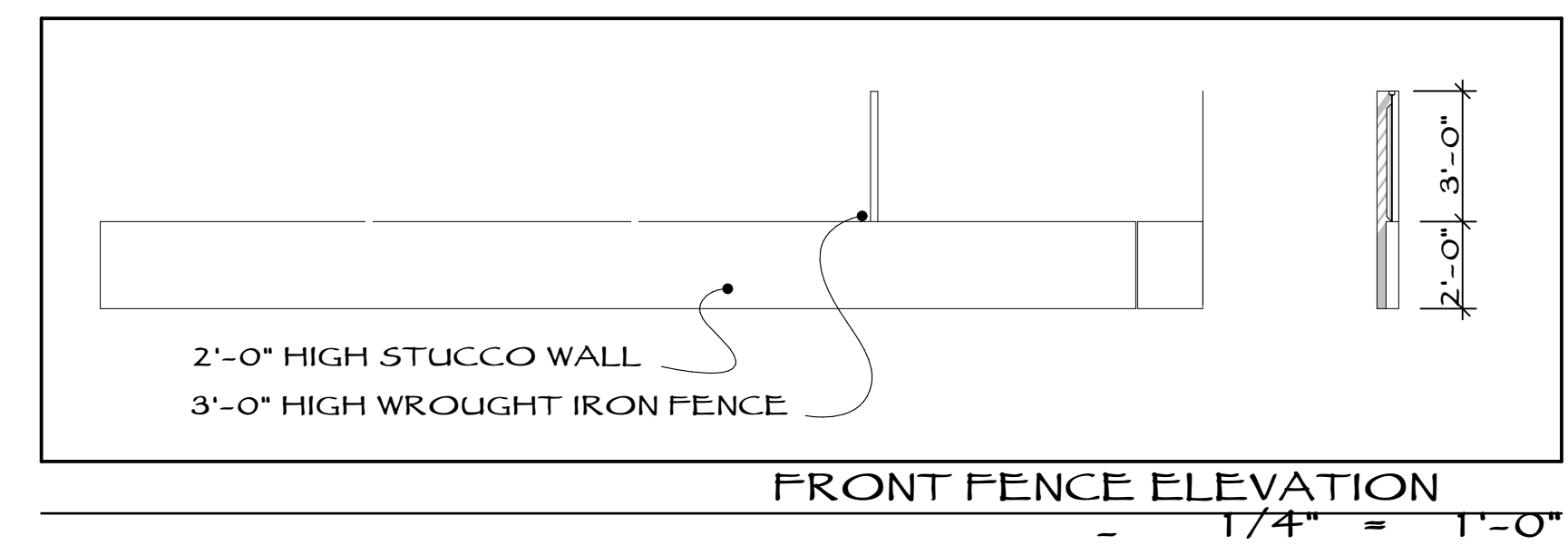
All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

DOOR & WINDOW SCHEDULES

10/9/2014
 scale:
 prepared by: R.d.S
 job #: 2013-184

AG-9



Front Yard Setback Landscaping Calculations:

Front Yard Setback Area (100%):	615.00 sq. ft.
Required Landscape Area (55%):	311.25 sq. ft.
Provided Landscape Area (55.18%):	316.55 sq. ft.
Driveway & Paving Area (44.22%):	298.45 sq. ft.

Setback & Common Area Permeability Calculations:

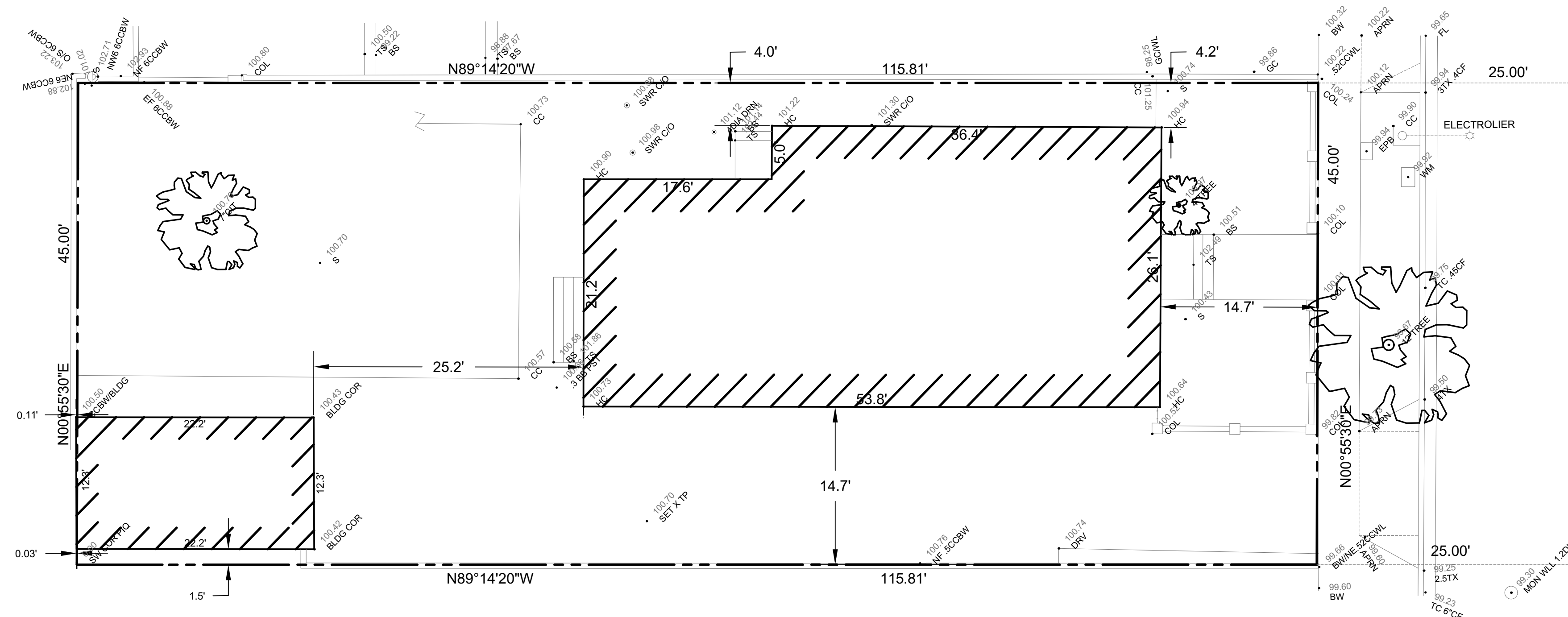
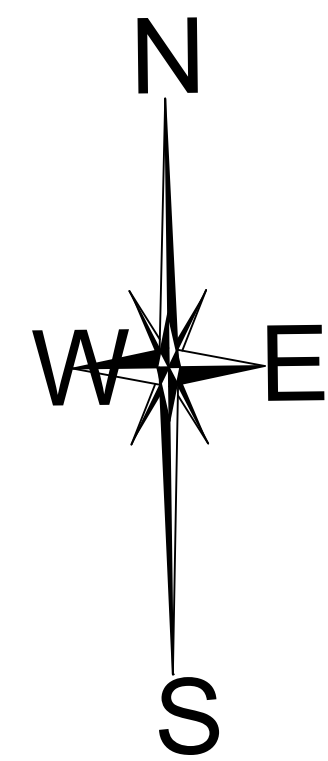
Total Setback Yard Area:	2,122.25 sq. ft.
Required Common Open Space	180.00 sq. ft.
Total	2,302.29 sq. ft.
Required 50% Permeable Area	1,151.14 sq. ft.
Provided Permeable Area Within Setback :	1,261.14 sq. ft.

SITE PLAN
1/8" = 1'-0"

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

ARCHITECTURAL SURVEY

of
 723 HUNTLEY DRIVE
 (BEING LOT 60, TRACT NO. 4912, MB 53-36)
 CITY OF WEST HOLLYWOOD



HUNTLEY DRIVE

- LEGEND:
- TC - TOP OF CURB
 - FL - FLOW LINE
 - SSMH - SANITARY SEWER MAN HOLE
 - FD - FOUND
 - CN - CONCRETE NAIL
 - L&T - LEAD & TAG
 - AC - ASPHALT CONCRETE
 - DWY - DRIVEWAY
 - BW - BACK OF WALK
 - TCX - DRIVEWAY FLARE
 - ED.ST. - EDGE OF STREET
 - PP - POWER POLE
 - WM - WATER METER
 - PPWL - CUT POLE W/ STUCCO WALL
 - PLR - PILLER
 - GB - GRADE BREAK
 - GR - GRADE
 - EP - EDGE OF PAVEMENT
 - HDG - HEDGE
 - CBWL - CONCRETE BLOCK WALL
 - FNC - FENCE
 - TOE - TOE OF SLOPE
 - TOP - TOP OF SLOPE
 - TP - TURNING POINT
 - FH - FIRE HYDRANT
 - CC - CONCRETE
 - TS - TOP OF STEP
 - BS - BOTTOM OF STEP

NOTE:
 THIS SURVEY IS INTENDED FOR DESIGN PURPOSES ONLY AND NOT FOR CONSTRUCTION. BOUNDARY STAKING MUST BE CONDUCTED PRIOR TO ANY CONSTRUCTION IN ORDER TO JUSTIFY THE PROPER LEGAL SET-BACKS, IF ANY, OF THE NEWLY PLANNED CONSTRUCTION. "EYE-BALLING" OR GUESSING THE BOUNDARY LOCATIONS HAS NO JUSTIFICATION AND IF PERFORMED CANCELS THE VALIDITY AND ACCURACY OF THIS SURVEY.

BENCH MARK:
 ASSUMED 100.00 AS ARBITRARY DATUM

SURVEYED FOR:
 PEYMON KOOKLAN
 CAMERON ENTERPRISE GROUP LLC
 14632 TUSTIN ST
 SHERMAN OAKS, CA 91403
 310-600-8952

Scale: 1" = 8'

SURVEY DATE: 6 / 25 / 13

NOTE:
 THIS SURVEY AND MAP ARE THE PROPERTY OF CALIFORNIA LAND SERVICES, INC. AND MAY NOT BE MODIFIED, ALTERED OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY CALIFORNIA LAND SERVICES, INC. AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVIDED EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISK THAT MAY BE PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVIDED WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED BY CALIFORNIA LAND SERVICES, INC., AS TO SUCH CHANGED MATERIALS.

SPECIAL NOTE:
 CONTAINED IS THE GRAPHICAL REPRESENTATION OF CONSTANT ELEVATION LINES THAT ARE INTERPOLATED OR EXTRAPOLATED BETWEEN ACTUAL FIELD MEASURED ELEVATIONS OR MAP ELEVATIONS AND SHOULD NOT BE INTERPRETED AS PRECISE GROUND CONDITIONS. ONLY AN INFINITE NUMBER OF FIELD MEASUREMENTS WOULD BE NECESSARY TO DETERMINE PRECISE GROUND CONDITIONS. SINCE OTHERWISE NOT POSSIBLE, THE NUMBER OF SUCH FIELD MEASUREMENTS ARE THEREFORE LIMITED TO THE SCOPE AND INTENT OF THE RESULTING MAP.



Prepared by:
CALIFORNIA LAND SERVICES, INC.
 13317 Ventura Blvd., Ste. F-1,
 Sherman Oaks, Cal. 91423
 818-986-4225 Fax: 818-986-4244



All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA. SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

BASEMENT FLOOR PLAN

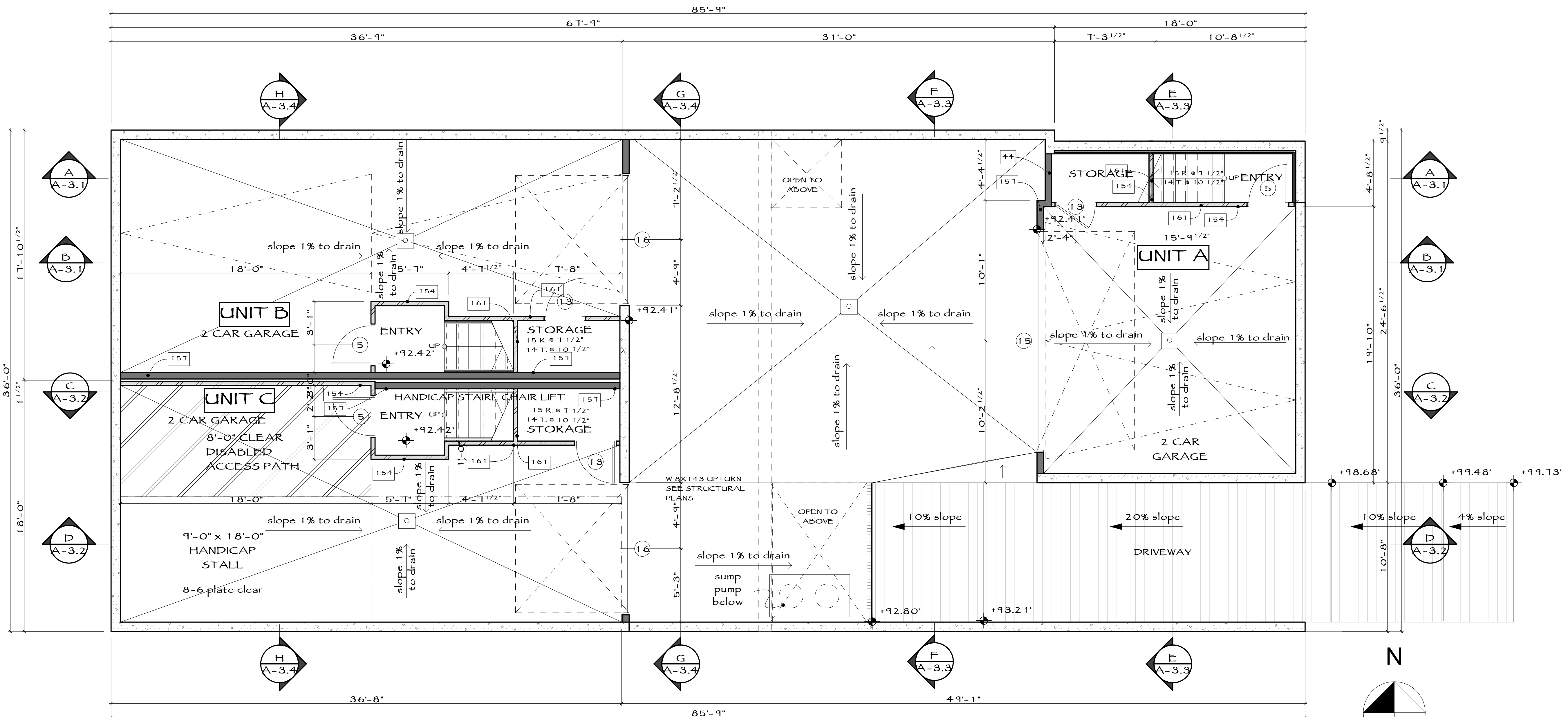
10/9/2014

scale:

prepared by: R.d.S

job #: 2013-184

A-1.0



WALL LEGEND:

	8" CONC. WALL U.O.
	2X6 STUD WALL U.O.
	2X4 STUD WALL U.O.

BASEMENT FLOOR PLAN
1/4" = 1'-0"

Floor Plan Notes

2 Appliance - 36" wide gas range with hood above - as specified by others - provide vent to outside.	29 Crawl space access - 30" x 22"	55 Fireplace - combustion air intake	78 HVAC - combination package unit	113 Plumbing Fixture - bathtub on platform as specified by others	142 Smart landscape irrigation control unit-
3 Appliance - dishwasher - provide 24" clear space - as specified by others	30 Cricket	56 Fireplace - gas key	79 HVAC - forced air unit (Fau) - horizontal	114 Plumbing Fixture - Hose bib	144 Trash chute opening above - 2 hour
4 Appliance - double oven - provide 24" clear space - as specified by others	31 Deck slope 1/4" drop per 12" of run minimum to drain	57 Fireplace hearth - Tile or stone - 20" deep min. or min. as req'd by listing	80 HVAC - forced air unit (Fau) - vertical	115 Plumbing Fixture - kitchen sink and faucet as specified by others	145 Trash chute - 2 Hour shaft W/ 40 Min. door - provide vent and fire sprinkler at top.
5 Appliance - downdraft ventilator	32 Deck waterproofing - Dex-O-Tex - class 'A' - L.A.R.R. #2360, ICC-ES ESR-1151	58 Fireplace - metal flue - prefabricated by fireplace manufacturer indicated	81 HVAC - mechanical shaft	116 Plumbing Fixture - laundry sink and faucet as specified by others	146 Wall - 2 x 4 studs - flat furring over underlayment - class 'A' rated - see general notes
6 Appliance - freezer as specified by others	33 Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see 1108)	59 Fireplace - prefabricated chimney cap with spark arrester by fireplace manufacturer indicated	82 Laundry chute	117 Plumbing Fixture - lavatory pedestal sink and faucet as specified by others	147 Wall - 2 x 4 studs - furring for plumbing
7 Appliance - garbage disposal as specified by others	34 Downspout	60 Fireplace - prefabricated gas direct vent - Heatitator IDV624T1(4T) x 38" opening) - ANSI Z21.88-2005, UL 130TB - or equal	83 Level landing - 60" x 60" Clear	118 Plumbing Fixture - lavatory sink and faucet as specified by others	148 Wall - 2 x 8 studs
8 Appliance - hood, ventilator and light as specified by others	35 Downspout - Inside Wall - see plumbing code for requirements	61 Fireplace - prefabricated gas direct vent - Heat-N-Glo "Escape-42DV" (42" x 31" opening) - 12" deep hearth min. when flush with floor - ANSI Z21.88-2000, UL 130TB - or equal	84 Line of balcony above	119 Plumbing Fixture - spa tub as specified by others	149 Wall - party wall - see details
9 Appliance - microwave as specified by others	36 Drain - area drain with minimum 2% slope to daylight	62 Fireplace - prefabricated gas direct vent - Heat-N-Glo "Infinity" (35 1/4" x 23 13/16" opening) - ANSI Z21.88-2000, UL 130TB - or equal	85 Line of deck depression above	120 Plumbing Fixture - tub access - 12" x 12"	150 Wall - masonry - see structural drawings
10 Appliance - range/oven as specified by others	37 Drain - deck / floor - see plumbing code for requirements	63 Fireplace - prefabricated gas direct vent - see-through - Majestic Chateau DVT3852IN (34 1/2" x 29 3/8" opening) - ANSI Z21.50B-2005; UL/CSA 2.2-2005 - or equal	86 Line of floor above	121 Plumbing Fixture - tub access - 18" x 12"	151 Wall - 2 x 6 studs
11 Appliance - refrigerator as specified by others - provide 3" clear space and cold water connection	38 Drain - roof - see plumbing code for requirements	64 Fireplace - prefabricated gas direct vent - Spark Fire Ribbon Direct Vent 3 Ft - (36"W x 16"H x 16"D - glass viewing area) - (45"W x 36.125"H x 22.5"D - Outer dia.) Omni-Text Laboratories - ANSI Z21.88-2005; CSA 2.33-2005 - or equal	87 Line of roof above	122 Plumbing Fixture - vegetable sink and faucet as specified by others	152 Wall - 2 x 4 studs - furring for plumbing
12 Appliance - refrigerator/freezer as specified by others - provide cold water connection	39 Drain - roof - with overflow - see plumbing code for requirements	65 Fire department connection	88 Line of wall above	123 Plumbing Fixture - water closet with a 1.5 GPF max. capacity as specified by others	153 Wall hung mailboxes - verify size and locations.
13 Appliance - trash compactor as specified by others	40 Drain - scupper drain - see plumbing code for requirements	66 Fire extinguisher - verify location	89 Line of wall below	124 Plumbing Fixture - wet bar sink and faucet as specified by others	154 Wall - 2 x 4 studs
14 Appliance - stack washer/dryer - as specified by others - provide hot and cold water supply connections and recessed pocket for waste.	41 Drain - scupper overflow - see plumbing code for requirements	67 Fire sprinkler - automatic system - as required, verify location	90 Low wall - see plans for height	125 Raised platform - 18" high	155 Wall - 2 x 4 studs - flat furring with 1/2" minimum air space to masonry wall - see detail.
15 Appliance - washer - as specified by others - provide hot and cold water supply connections and recessed pocket for waste.	42 Drop soffit	68 Gaseous connection with shut-off valve	91 Mirror as specified by others	126 Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier	156 Wall - 2 x 4 studs
16 Appliance - dryer - as specified by others - provide gas stub out and vent to outside.	43 Dryer vent cap with backdraft damper and 4" diameter duct or 6" diameter duct if length is more than 15 feet	69 Guard with shut-off valve	92 Niche	128 Roof deck slope 3/8" drop per 12" of run minimum to drain	157 Wall - 1-Hour assembly.
17 Attic access - 30" x 30"	44 Drywall - 5/8" gypsum board	70 Guard with shut-off valve	93 Occupancy separation wall - 3-Hour - see details	129 Roof steel access hatch - 30" x 36" Bristolite Skylights model RAH	158 Wall - 2-Hour assembly.
18 Cabinet - as specified by others	45 Drywall - 5/8" gypsum board - with skim coat and texture as specified by others	71 Guard with shut-off valve	94 Open to above	130 Roofing - built-up - class 'A' - see general notes & specifications	159 Wall - 3-Hour assembly.
19 Cabinet - bathroom as specified by others	46 Drywall - 5/8" gypsum board top over plywood backing	72 Guardrail - 42" high - ornamental iron with less than 4" openings	95 Open to below	131 Roof access ladder - W.I. wall mounted.	160 Water heater with circulating pump and seismic strap anchoring
20 Cabinet - kitchen - 36" high base as specified by others	47 Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garage, around	73 Gutter - 2.6 ga. galvanized iron (GI) or 1.6 oz. copper per plans	96 Parapet	132 Roofing - composition shingle - class 'A' - see general notes & specifications	161 Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report.
21 Cabinet - kitchen - upper as specified by others	48 Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs	74 Handrail - 34" minimum to 38" maximum high - wall mounted	97 Parapet	133 Roofing - tile - class 'A' - see general notes for specifications	162 Hot wired Carbon monoxide detector - see general notes for specifications
22 Closet pole with shelf above as specified by others	49 Drywall - 5/8" water resistive gypsum board (Green Board)	75 Handrail - 36" high - ornamental iron with less than 4" openings	98 Parapet	134 Shower enclosure - safety glass	163 Hot wired Exhaust fan with 5 air changes per minute
23 Concrete column per structural	50 Electrical meter & panel	76 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	99 Parking stall striping-typical	135 Shower seat - 16" high	164 Smoke detector - see general notes for specifications
24 Concrete splash guard	51 Electrical sub-panel	77 HVAC - air conditioning condenser	100 Parking stalls wheel stop - concrete - as required	136 Shower, Steam as specified by others	165 Illuminated exit sign provide low level exit signs as required.
25 Countertop as specified by others	52 Equipment platform - see details.		101 Painted concrete striping - No parking zone		
			102 Plumbing Fixture - 60" x 30" bathtub as specified by others		

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA. SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

FIRST FLOOR PLAN

10/9/2014

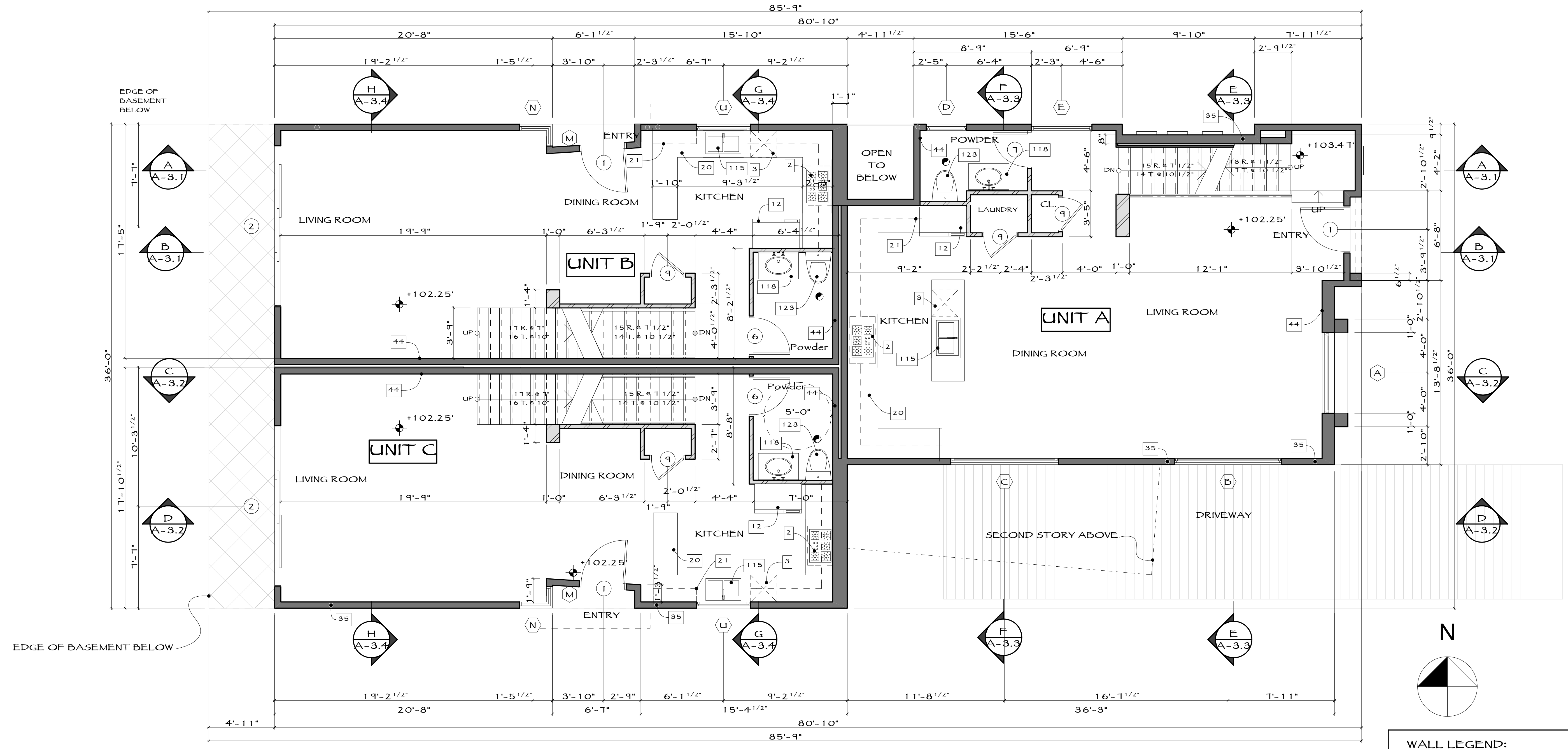
scale:

prepared by: R,d,s

job #: 2013-184

A-1.1

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



WALL LEGEND:

	8" CONC. WALL U.N.O.
	2X6 STUD WALL U.N.O.
	2X4 STUD WALL U.N.O.

FIRST FLOOR PLAN
1/4" = 1'-0"

Floor Plan Notes

2 Appliance - 36" wide gas range with hood above - as specified by others - provide vent to outside.	29 Crawl space access - 30" x 22"	55 Fireplace - Combustion air intake	78 HVAC - combination package unit	113 Plumbing Fixture - bathtub on platform as specified by others	142 Smart landscape irrigation control unit-
3 Appliance - dishwasher - provide 24" clear space - as specified by others	30 Cricket	56 Fireplace - gas key	79 HVAC - forced air unit (fau) - horizontal	114 Plumbing Fixture - Hose bib	144 Trash chute opening above - 2 hour
4 Appliance - double oven - provide 24" clear space - as specified by others	31 Deck slope 1/4" drop per 12" of run minimum to drain	57 Fireplace - Tile or stone - 20" deep min. or min. as req'd by listing	80 HVAC - forced air unit (fau) - vertical	115 Plumbing Fixture - kitchen sink and faucet as specified by others	145 Trash chute - 2 Hour shaft w/ 40 Min. door - provide vent and fire sprinkler at top.
5 Appliance - downdraft ventilator	32 Deck waterproofing - Dex-O-Tex - class 'A' - L.A.R.R. #2360, ICC-ES ESR-1151	58 Fireplace - metal flue - prefabricated by fireplace manufacturer indicated	81 HVAC - mechanical shaft	116 Plumbing Fixture - laundry sink and faucet as specified by others	146 Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
6 Appliance - freezer as specified by others	33 Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see +108)	59 Fireplace - prefabricated chimney cap with spark arrester by fireplace manufacturer indicated	82 Laundry chute	117 Plumbing Fixture - lavatory pedestal sink and faucet as specified by others	151 Vent - garage - metal louvers and wire mesh screen - 14" x 6"
7 Appliance - garbage disposal as specified by others	34 Downspout	60 Fireplace - prefabricated gas direct vent - Heatitator IDV624TI (41" x 38" opening) - ANSI Z21.88-2005, UL 130TB - or equal	83 Level landing - 60" x 60" Clear	118 Plumbing Fixture - lavatory sink and faucet as specified by others	152 Warning stripes - 2" Contrasting color at all treads for exterior stairs.
8 Appliance - hood, ventilator and light as specified by others	35 Downspout - Inside Wall - see plumbing code for requirements	61 Fireplace - prefabricated gas direct vent - Heat-N-Glo "Escape-42DV" (42" x 31" opening) - 12" deep hearth min. when flush with floor - ANSI Z21.88-2005, UL 130TB - or equal	89 Line of balcony above	119 Plumbing Fixture - spa tub as specified by others	153 Wall hung mailboxes - verify size and locations.
9 Appliance - microwave as specified by others	36 Drain - area drain with minimum 2% slope to daylight	62 Fireplace - prefabricated gas direct vent - Heat-N-Glo "Infinity" (35 1/4" x 23 13/16" opening) - ANSI Z21.88-2005, UL 130TB - or equal	91 Line of deck depression above	120 Plumbing Fixture - tub access - 12" x 12"	154 Wall - 2 x 4 studs
10 Appliance - range/oven as specified by others	37 Drain - deck / floor - see plumbing code for requirements	63 Fireplace - prefabricated gas direct vent - see-through - Majestic Chateau DVT3852IN (34 1/2" x 29 3/8" opening) - ANSI Z21.50B-2005; UL/CSA 2.2.2B-2005 - or equal	92 Line of floor above	121 Plumbing Fixture - tub access - 18" x 12"	155 Wall - 2 x 4 studs - flat furring with 1/2" minimum air space to masonry wall - see detail.
11 Appliance - refrigerator as specified by others - provide 3" clear space and cold water connection	38 Drain - roof - see plumbing code for requirements	64 Fireplace - prefabricated gas direct vent - Spark, Fire Ribbon Direct Vent 3 Ft - (36"W x 16"H x 16"D - glass viewing area) - (45"W x 36, 12.5"H x 22.5"D - Outer dia.) Omni-Test Laboratories - ANSI Z21.88-2005; CSA 2.33-2005 - or equal	93 Line of roof above	122 Plumbing Fixture - vegetable sink and faucet as specified by others	156 Wall - 2 x 4 studs - furring for plumbing
12 Appliance - refrigerator/freezer as specified by others - provide cold water connection	39 Drain - roof - with overflow - see plumbing code for requirements	65 Fire department connection	94 Line of wall above	123 Plumbing Fixture - water closet with a 1.5 GPF max. capacity as specified by others	157 Wall - 2 x 6 studs
13 Appliance - trash compactor as specified by others	40 Drain - scupper drain - see plumbing code for requirements	66 Fire extinguisher - verify location	95 Line of wall below	124 Plumbing Fixture - wet bar sink and faucet as specified by others	158 Wall - 2 x 8 studs
14 Appliance - stack washer/dryer - as specified by others - provide hot and cold water supply connections and recessed pocket for waste.	41 Drain - scupper overflow - see plumbing code for requirements	67 Fire sprinkler - automatic system- as required, verify location	97 Low wall - see plans for height	125 Raised platform - 18" high	159 Wall - party wall - see details
15 Appliance - washer - as specified by others - provide hot and cold water supply connections and recessed pocket for waste.	42 Drop soffit	68 Fire department connection	98 Mirror as specified by others	126 Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier	160 Wall - masonry - see structural drawings
16 Appliance - dryer - as specified by others - provide gas stub out and vent to outside.	43 Dryer vent cap with backdraft damper and 4" diameter duct or 6" diameter duct if length is more than 15 feet	69 Fire extinguisher - verify location	101 Niche	128 Roof deck slope 3/8" drop per 12" of run minimum to drain	161 Wall - 1-Hour assembly.
17 Attic access - 30" x 30"	44 Drywall - 5/8" gypsum board	70 Gas connection with shut-off valve	102 Occupancy separation wall - 3-Hour - see details	129 Roof steel access hatch - 30" x 36", Bristolite Skylights model RAH	162 Wall - 2-Hour assembly.
18 Cabinet - as specified by others	45 Drywall - 5/8" gypsum board - with skim coat and texture as specified by others	71 Guard-rail - 42" high - ornamental iron with less than 4" openings	103 Open to above	130 Roofing - built-up - class 'A' - see general notes & specifications	163 Wall - 3-Hour assembly.
19 Cabinet - bathroom as specified by others	46 Drywall - 5/8" gypsum board top over plywood backing	72 Guard-rail - 42" high - solid	104 Open to below	131 Roof access ladder - W.I. wall mounted.	164 Water heater with circulating pump and seismic strap anchoring
20 Cabinet - kitchen - 36" high base as specified by others	47 Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garage, around	73 Gutter - 2.6 ga. galvanized iron (GI) or 1.6 oz. copper per plans	105 Pantry shelving as specified by others	132 Roofing - composition shingle - class 'A' - see general notes & specifications	165 Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report.
21 Cabinet - kitchen - upper as specified by others	48 Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs	74 Handrail - 34" minimum to 38" maximum high - wall mounted	106 Parapet	133 Roofing - tile - class 'A' - see general notes for specifications	Hot wired Carbon monoxide detector - see general notes for specifications
22 Closet pole with shelf above as specified by others	49 Drywall - 5/8" water resistive gypsum board (Green Board)	75 Handrail - 36" high - ornamental iron with less than 4" openings	107 Parking stall striping-typical	135 Shower enclosure - safety glass	Hot wired Exhaust fan with 5 air changes per minute
23 Concrete column per structural	50 Electrical meter & panel	76 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	110 Parking stalls wheel stop - concrete - as required	136 Shower seat - 16" high	Smoke detector - see general notes for specifications
24 Concrete splash guard	51 Electrical sub-panel	77 HVAC - air conditioning condenser	111 Painted concrete striping - No parking zone	137 Shower, Steam as specified by others	ILLUMINATED exit sign provide low level exit signs as required.
28 Countertop as specified by others	52 Equipment platform - see details.		112 Plumbing Fixture - 60" x 30" bathtub as specified by others	141 Skylight - as per plan or see roof plan (for size & type) and general notes	

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90067

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA
91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA. SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

SECOND FLOOR PLAN

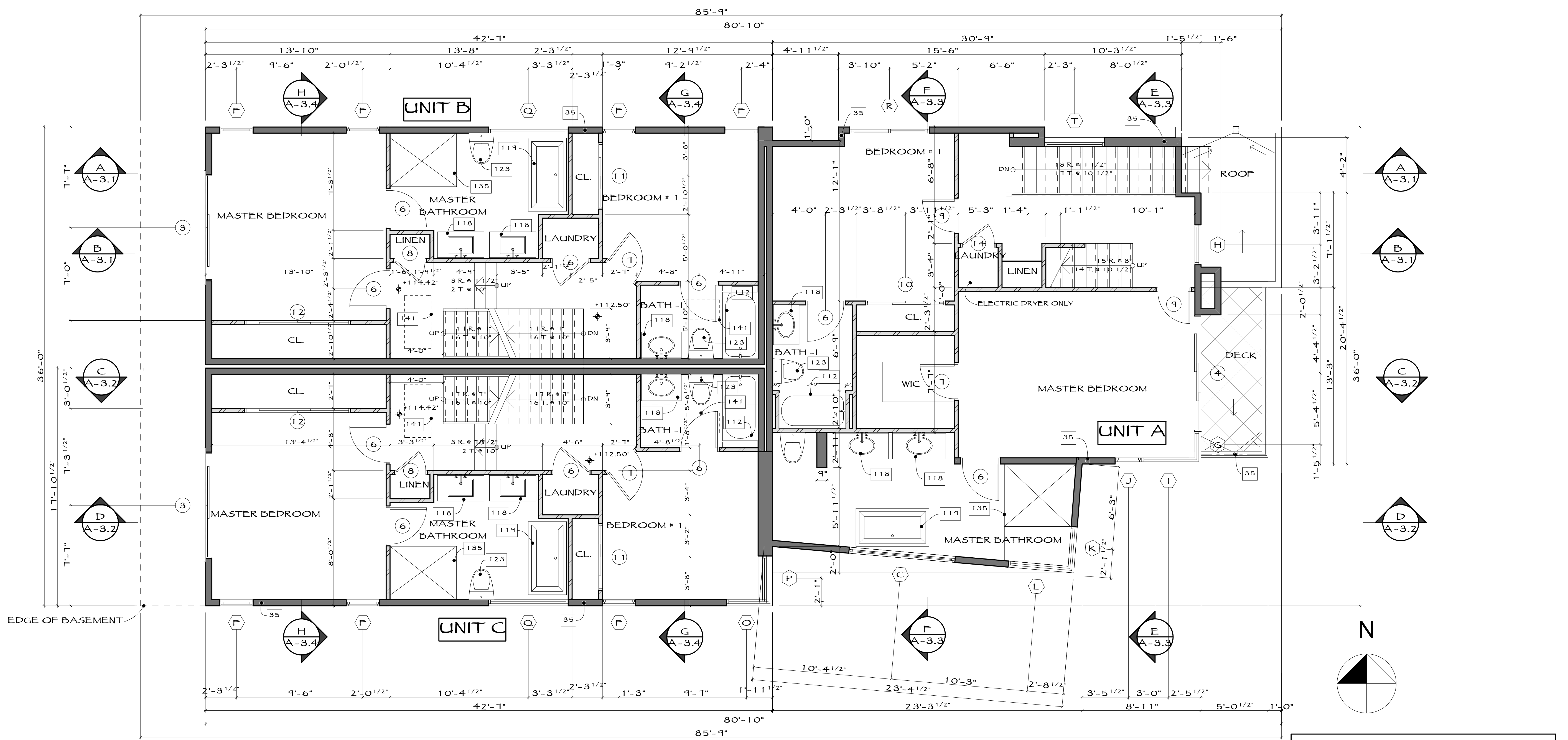
10/9/2014

scale:

prepared by: R.d.S

job #: 2013-184

A-1.2



WALL LEGEND:

	8" CONC. WALL U.N.O.
	2X6 STUD WALL U.N.O.
	2X4 STUD WALL U.N.O.

SECOND FLOOR PLAN
1/4" = 1'-0"

Floor Plan Notes

2 Appliance - 36" wide gas range with hood above - as specified by others - provide vent to outside.	29 Crawl space access - 30" x 22"	55 Fireplace - Combustion air intake	78 HVAC - combination package unit	113 Plumbing Fixture - bathtub on platform as specified by others	142 Smart landscape irrigation control unit-
3 Appliance - dishwasher - provide 24" clear space - as specified by others	30 Cricket	56 Fireplace - gas key	79 HVAC - Forced air unit (Fau) - horizontal	114 Plumbing Fixture - Hose bib	144 Trash chute opening above - 2 hour
4 Appliance - double oven - provide 24" clear space - as specified by others	31 Deck slope 1/4" drop per 12" of run minimum to drain	57 Fireplace hearth - Tile or stone - 20" deep min. or min. as req'd by listing	80 HVAC - Forced air unit (Fau) - vertical	115 Plumbing Fixture - kitchen sink and faucet as specified by others	145 Trash chute - 2 Hour shaft w/ 40 Min. door - provide vent and fire sprinkler at top.
5 Appliance - downdraft ventilator	32 Deck waterproofing - Dex-O-Tex - class 'A' - L.A.R.R. #2360, ICC-ES ESR-1151	58 Fireplace - metal flue - prefabricated by fireplace manufacturer indicated	81 HVAC - mechanical shaft	116 Plumbing Fixture - laundry sink and faucet as specified by others	146 Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
6 Appliance - freezer as specified by others	33 Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see #108)	59 Fireplace - prefabricated chimney cap with spark arrester by fireplace manufacturer indicated	82 Laundry chute	117 Plumbing Fixture - lavatory pedestal sink and faucet as specified by others	151 Vent - garage - metal louvers and wire mesh screen - 14" x 6"
7 Appliance - garbage disposal as specified by others	34 Downspout	60 Fireplace - prefabricated gas direct vent - Heatitator IDV624T1(41" x 38" opening) - ANSI Z21.88-2005, UL 130TB - or equal	83 Level landing - 60" x 60" Clear	118 Plumbing Fixture - lavatory sink and faucet as specified by others	152 Warning stripes - 2" Contrasting color at all treads for exterior stairs.
8 Appliance - hood, ventilator and light as specified by others	35 Downspout - Inside Wall - see plumbing code for requirements	61 Fireplace - prefabricated gas direct vent - Heat-N-Glo "Escape-42DV" (42" x 31" opening) - 12" deep hearth min. when flush with floor - ANSI Z21.88-2000, UL #30TB - or equal	89 Line of balcony above	119 Plumbing Fixture - spa tub as specified by others	153 Wall hung mailboxes - verify size and locations.
9 Appliance - microwave as specified by others	36 Drain - area drain with minimum 2% slope to daylight	62 Fireplace - prefabricated gas direct vent - Heat-N-Glo "Infinity" (35 1/4" x 23 13/16" opening) - ANSI Z21.88-2000, UL 130TB - or equal	90 Line of deck depression above	120 Plumbing Fixture - tub access - 12" x 12"	154 Wall - 2 x 4 studs
10 Appliance - range/oven as specified by others	37 Drain - deck / floor - see plumbing code for requirements	63 Fireplace - prefabricated gas direct vent - through - Majestic Chateau DVT3852IN (34 1/2" x 29 3/8" opening) - ANSI Z21.50B-2005; UL/CSA 2.2B-2005 - or equal	91 Line of floor above	121 Plumbing Fixture - tub access - 18" x 12"	155 Wall - 2 x 4 studs - flat furring with 1/2" minimum air space to masonry wall - see detail.
11 Appliance - refrigerator as specified by others - provide 3" clear space and cold water connection	38 Drain - roof - see plumbing code for requirements	64 Fireplace - prefabricated gas direct vent - Spark, Fire Ribbon Direct Vent 3 Ft - (36"W x 16"H x 16"D - glass viewing area) - (45"W x 36, 125"H x 22.5"D - Outer dim.) Omni-Test Laboratories - ANSI Z21.88-2005; CSA 2.33-2005 - or equal	92 Line of roof above	122 Plumbing Fixture - vegetable sink and faucet as specified by others	156 Wall - 2 x 4 studs - furring for plumbing
12 Appliance - refrigerator/freezer as specified by others - provide cold water connection	39 Drain - roof - with overflow - see plumbing code for requirements	65 Fire department connection	93 Line of wall above	123 Plumbing Fixture - water closet with a 1.5 GPF max. capacity as specified by others	157 Wall - 2 x 6 studs
13 Appliance - trash compactor as specified by others	40 Drain - scupper drain - see plumbing code for requirements	66 Fire extinguisher - verify location	94 Line of wall below	124 Plumbing Fixture - wet bar sink and faucet as specified by others	158 Wall - 2 x 8 studs
14 Appliance - stack washer/dryer - as specified by others - provide hot and cold water supply connections and recessed pocket for waste.	41 Drain - scupper overflow - see plumbing code for requirements	67 Fire sprinkler - automatic system - as required, verify location	95 Low wall - see plans for height	125 Raised platform - 18" high	159 Wall - party wall - see details
15 Appliance - washer - as specified by others - provide hot and cold water supply connections and recessed pocket for waste.	42 Drop soffit	68 Gase connection with shut-off valve	98 Mirror as specified by others	126 Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier	160 Wall - masonry - see structural drawings
16 Appliance - dryer - as specified by others - provide gas stub out and vent to outside.	43 Dryer vent cap with backdraft damper and 4" diameter duct or 6" diameter duct if length is more than 15 feet	69 Guardrail - 42" high - ornamental iron with less than 4" openings	101 Niche	128 Roof deck slope 3/8" drop per 12" of run minimum to drain	161 Wall - 1-Hour assembly.
17 Attic access - 30" x 30"	44 Drywall - 5/8" gypsum board	70 Guardrail - 42" high - solid	102 Occupancy separation wall - 3-Hour - see details	129 Roof steel access hatch - 30" x 36" Bristolite Skylights model RAH	162 Wall - 2-Hour assembly.
18 Cabinet - as specified by others	45 Drywall - 5/8" gypsum board - with skim coat and texture as specified by others	71 Gutter - 2.6 ga. galvanized iron (GI) or 1.6 oz. copper per plans	103 Open to above	130 Roofing - built-up - class 'A' - see general notes & specifications	163 Wall - 3-Hour assembly.
19 Cabinet - bathroom as specified by others	46 Drywall - 5/8" gypsum board top over plywood backing	72 Handrail - 34" minimum to 38" maximum high - wall mounted	104 Open to below	131 Roof access ladder - W.I. wall mounted.	164 Water heater with circulating pump and seismic strap anchoring
20 Cabinet - kitchen - 36" high base as specified by others	47 Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garage, around	73 Handrail - 36" high - ornamental iron with less than 4" openings	107 Pantry shelving as specified by others	132 Roofing - composition shingle - class 'A' - see general notes & specifications	165 Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report.
21 Cabinet - kitchen - upper as specified by others	48 Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs	74 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	108 Parapet	133 Roofing - tile - class 'A' - see general notes for specifications	Hot wired Carbon monoxide detector - see general notes for specifications
22 Closet pole with shelf above as specified by others	49 Drywall - 5/8" water resistive gypsum board (Green Board)	75 Handrail - 36" high - ornamental iron with less than 4" openings	109 Parking stall striping-typical	135 Shower enclosure - safety glass	Hot wired Exhaust fan with 5 air changes per minute
23 Concrete column per structural	50 Electrical meter & panel	76 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	110 Parking stalls wheel stop - concrete - as required	136 Shower seat - 16" high	Smoke detector - see general notes for specifications
24 Concrete splash guard	51 Electrical sub-panel	77 HVAC - air conditioning condenser	111 Painted concrete striping - No parking zone	137 Shower, Steam as specified by others	ILLUMINATED exit sign provide low level exit signs as required.
25 Countertop as specified by others	52 Equipment platform - see details.		112 Plumbing Fixture - 60" x 30" bathtub as specified by others	141 Skylight - as per plan or see roof plan (for size & type) and general notes	

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

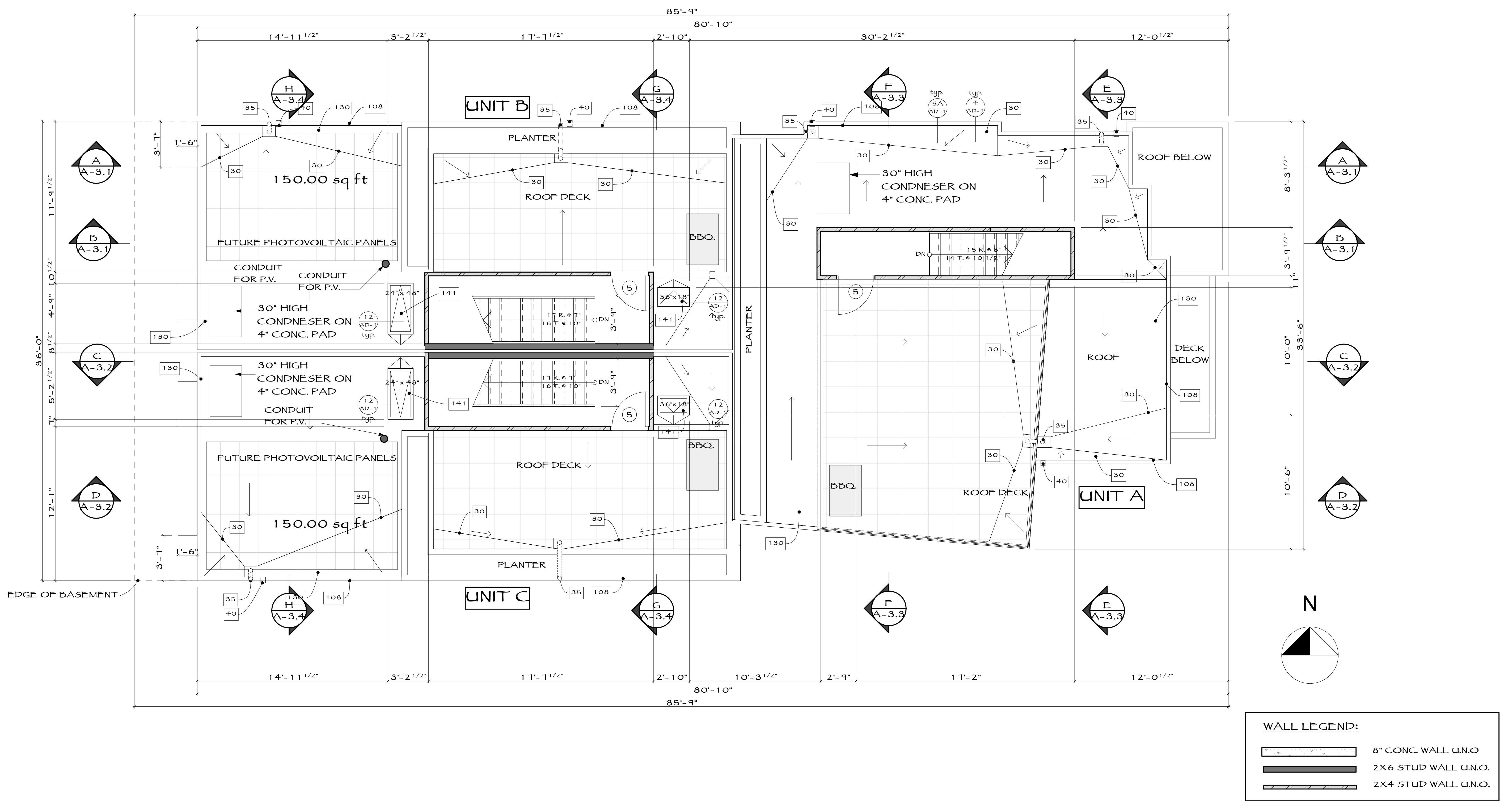
ROOF PLAN

10/9/2014

scale:

prepared by: R.d.S

job #: 2013-184



ROOF PLAN

1/4" = 1'-0"

Roof Plan Notes

17 Attic access - 30" x 30"	61 Fire sprinkler - automatic system - as required, verify location	130 Roofing - built-up - class 'A' - see general notes & specifications
24 Concrete splash guard	68 Flashing - galvanized iron (GI)	131 Roof access ladder - W.I. wall mounted.
25 Conduit termination for future solar panel use	71 Guardrail - 42" high - ornamental iron with less than 4" openings	132 Roofing - composition shingle - class 'A' - see general notes & specifications
26 Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	72 Guardrail - 42" high - solid	133 Roofing - tile - class 'A' - see general notes for specifications
27 Coping - stone or precast - see details	73 Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	134 Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details
30 Cricket	74 Handrail - 34" minimum to 38" maximum high - wall mounted	141 Skylight - as per plan or see roof plan (for size & type) and general notes
31 Deck slope 1/4" drop per 12" of run minimum to drain	75 Handrail - 36" high - ornamental iron with less than 4" openings	142 Smart landscape irrigation control unit.
32 Deck waterproofing - Dex-O-Tex - class 'A' - L.A.R.R. #2360, I.C.-E.5 #E5R-1757	76 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	146 Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
33 Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see #108)	77 HVAC - air conditioning condenser	147 Trellis - See plan for size, with exterior plaster over
34 Downspout	78 HVAC - combination package unit	148 Veneer - lightweight stone - see general notes for specifications
35 Downspout - Inside Wall - see plumbing code for requirements	79 HVAC - forced air unit (fau) - horizontal	149 Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
36 Drain - area drain with minimum 2% slope to daylight	80 HVAC - forced air unit (fau) - vertical	152 Warning stripes - 2" contrasting color at all treads for exterior stairs.
37 Drain - deck / floor - see plumbing code for requirements	81 HVAC - mechanical shaft	159 Wall - party wall - see details
38 Drain - roof - see plumbing code for requirements	88 Leaderhead	161 Wall - 1-Hour assembly.
39 Drain - roof - with overflow - see plumbing code for requirements	89 Level landing - 60" x 60" Clear	162 Wall - 2-Hour assembly.
40 Drain - scupper drain - see plumbing code for requirements	95 Line of wall below	163 Wall - 3-Hour assembly.
41 Drain - scupper overflow - see plumbing code for requirements	96 Location for future solar panels, 250 Sq. Ft. Min.	EXIT illuminated exit sign provide low level exit signs as required.
52 Equipment platform - see details	97 Low wall - see plans for height	
53 Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system	102 Occupancy separation wall - 3-Hour - see details	NOTES:
54 Exterior plaster, 1/8" over metal lath and building paper	104 Open to below	1. ALL ROOF DRAINS AND/OR SCUPPERS SHALL BE INSPECTED AT LEAST TWO TIMES ANNUALLY AND SHALL BE MAINTAINED CLEAR OF ANY OBSTRUCTIONS.
58 Fireplace - metal flue - prefabricated by fireplace manufacturer indicated	105 Opening in parapet wall for continuous water flow	2. ALL ROOF FLASHING AND CAULKING, IN ADDITION TO ROOFING MANUFACTURER'S REQUIREMENTS, SHALL BE INSPECTED AND MAINTAINED AT LEAST ONCE PER YEAR.
59 Fireplace - prefabricated chimney cap with spark arrestor by fireplace manufacturer indicated	108 Parapet	
65 Fire department connection	128 Roof deck slope 3/8" drop per 12" of run minimum to drain	
66 Fire extinguisher - verify location	129 Roof steel access hatch - 30" x 36", Bristolite Skylights model RAH	

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

UPPER ROOF PLAN

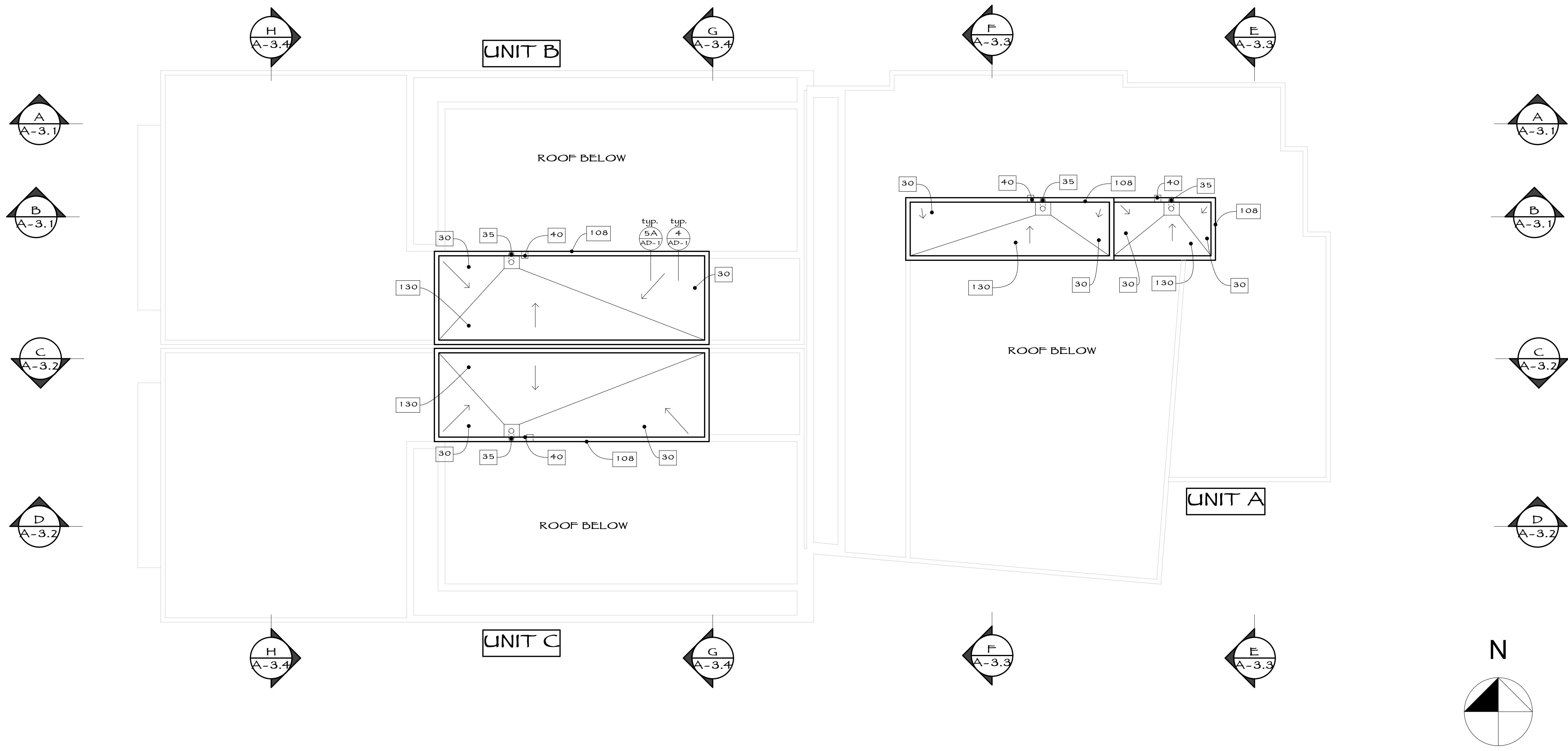
10/9/2014

scale:

prepared by: R.d.S

job #: 2013-184

A-1.4



WALL LEGEND:	
	8" CONC. WALL U.N.O.
	2X6 STUD WALL U.N.O.
	2X4 STUD WALL U.N.O.

UPPER ROOF PLAN

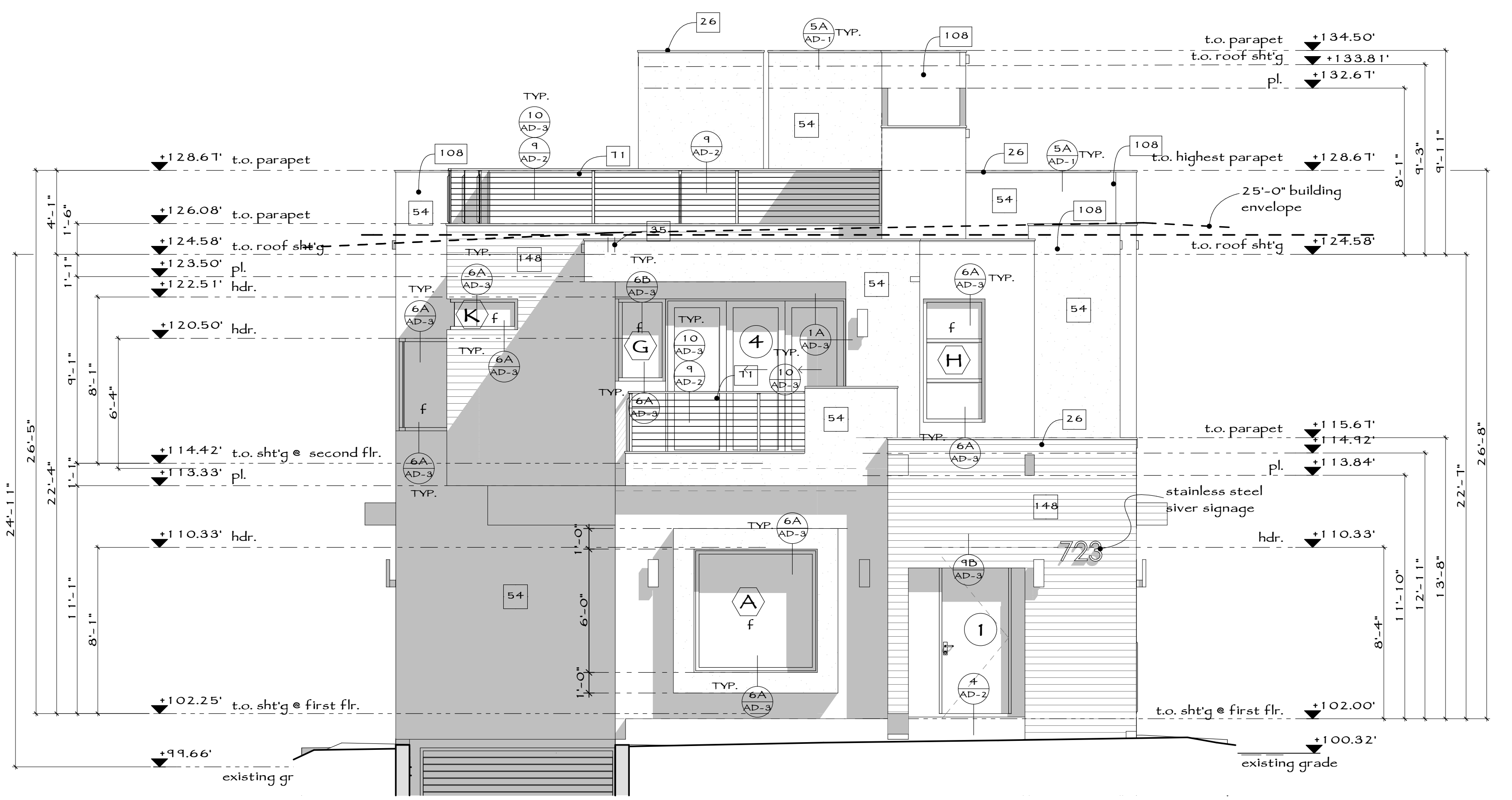
1/4" = 1'-0"

Roof Plan Notes

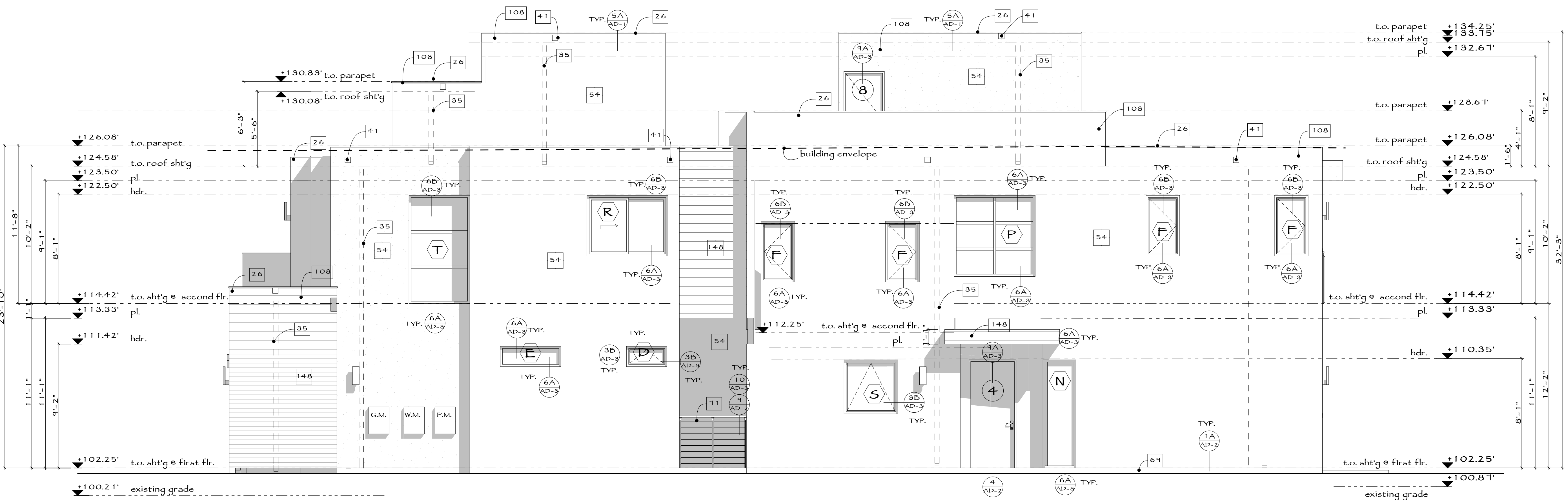
17 Attic access - 30" x 30"	61 Fire sprinkler - automatic system - as required, verify location	130 Roofing - built-up - class 'A' - see general notes & specifications
24 Concrete splash guard	68 Flashing - galvanized iron (GI)	131 Roof access ladder - W.I. wall mounted.
25 Conduit termination for future solar panel use.	71 Guardrail - 42" high - ornamental iron with less than 4" openings	132 Roofing - composition shingle - class 'A' - see general notes & specifications
26 Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	72 Guardrail - 42" high - solid	133 Roofing - tile - class 'A' - see general notes for specifications
27 Coping - stone or precast - see details	73 Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	134 Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details
30 Cricket	74 Handrail - 34" minimum to 38" maximum high - wall mounted	141 Skylight - as per plan or see roof plan (for size & type) and general notes
31 Deck slope 1/4" drop per 12" of run minimum to drain	75 Handrail - 36" high - ornamental iron with less than 4" openings	142 Smart landscape irrigation control unit.
32 Deck waterproofing - Dex-O-Tex - class 'A' - L.A.R.R. #2360, I.C.-E.S #E5R-1757	76 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	146 Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
33 Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see #108)	77 HVAC - air conditioning condenser	147 Trellis - See plan for size, with exterior plaster over
34 Downspout	78 HVAC - combination package unit	148 Veneer - lightweight stone - see general notes for specifications
35 Downspout - Inside Wall- see plumbing code for requirements	79 HVAC - forced air unit (fau) - horizontal	149 Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
36 Drain - area drain with minimum 2% slope to daylight	80 HVAC - forced air unit (fau) - vertical	152 Warning stripes - 2" contrasting color at all treads for exterior stairs.
37 Drain - deck / floor - see plumbing code for requirements	81 HVAC - mechanical shaft	159 Wall - party wall - see details
38 Drain - roof - see plumbing code for requirements	88 Leaderhead	161 Wall - 1-Hour assembly.
39 Drain - roof - with overflow - see plumbing code for requirements	89 Level landing - 60" x 60" Clear	162 Wall - 2-Hour assembly.
40 Drain - scupper drain - see plumbing code for requirements	95 Line of wall below	163 Wall - 3-Hour assembly.
41 Drain - scupper overflow - see plumbing code for requirements	96 Location for future solar panels, 250 Sq. Ft. Min.	EXIT illuminated exit sign provide low level exit signs as required.
52 Equipment platform - see details.	97 Low wall - see plans for height	
53 Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system	102 Occupancy separation wall - 3-Hour - see details	NOTES:
54 Exterior plaster, 1/8" over metal lath and building paper	104 Open to below	1. ALL ROOF DRAINS AND/OR SCUPPERS SHALL BE INSPECTED AT LEAST TWO TIMES ANNUALLY AND SHALL BE MAINTAINED CLEAR OF ANY OBSTRUCTIONS.
58 Fireplace - metal flue - prefabricated by fireplace manufacturer indicated	105 Opening in parapet wall for continuous water flow	2. ALL ROOF FLASHING AND CAULKING, IN ADDITION TO ROOFING MANUFACTURER'S REQUIREMENTS, SHALL BE INSPECTED AND MAINTAINED AT LEAST ONCE PER YEAR.
59 Fireplace - prefabricated chimney cap with spark arrestor by fireplace manufacturer indicated.	108 Parapet	
65 Fire department connection	128 Roof deck slope 3/8" drop per 12" of run minimum to drain	
66 Fire extinguisher - verify location	129 Roof steel access hatch - 30" x 36", Bristolite Skylights model RAH	

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

Elevation Notes

1	Anti-Graffiti Finish on all exterior walls - Min. 9 feet high.
23	Concrete column per structural
24	Concrete splash guard
26	Coping - 26 ga. galvanized iron (G.I.) or 16 oz. copper per plans
27	Coping - stone or precast - see details
29	Crawl space access - 30" x 22"
34	Downspout
35	Downspout - Inside Wall- see plumbing code for requirements
36	Drain - area drain with minimum 2% slope to daylight
37	Drain - deck / floor - see plumbing code for requirements
38	Drain - roof - see plumbing code for requirements
39	Drain - roof - with overflow - see plumbing code for requirements
40	Drain - scupper drain - see plumbing code for requirements
41	Drain - scupper overflow - see plumbing code for requirements
50	Electrical meter & panel
51	Electrical sub-panel
53	Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system
54	Exterior plaster, 1/8" over metal lath and building paper
55	Expansion Joint
59	Fireplace - prefabricated chimney cap with spark arrestor by fireplace manufacturer indicated
65	Fire department connection
66	Fire extinguisher - verify location
68	Flashing - galvanized iron (G.I.)
69	Foundation screed (weep screed)
71	Guardrail - 42" high - ornamental iron with less than 4" openings
72	Guardrail - 42" high - solid
73	Gutter - 26 ga. galvanized iron (G.I.) or 16 oz. copper per plans
14	Hand-rail - 34" minimum to 38" maximum high - wall mounted
15	Hand-rail - 36" high - ornamental iron with less than 4" openings
16	Hand-rail/guardrail - 36" high - ornamental iron with less than 4" openings
11	HVAC - air conditioning condenser
18	HVAC - combination package unit
88	Leaderhead
91	Low wall - see plans for height
99	Moulding - plaster over foam or wood shape - see details
100	Moulding - precast shape - see details
106	Ornamental Ironwork
108	Parapet
128	Roof deck slope 3/8" drop per 12" of run minimum to drain
129	Roof steel access hatch - 30" x 36", Bristolite Skylights model RAM
130	Roofing - built-up - class 'A' - see general notes & specifications
131	Roof access ladder - W.I. wall mounted.
132	Roofing - composition shingle - class 'A' - see general notes & specifications
133	Roofing - tile - class 'A' - see general notes for specifications
134	Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details
139	Siding - Horizontal 2x4sg hardwood siding (fire-treated) over building paper over Blazeguard sheathing with Pyrotite bonded to 1/2" cdx plywood by Barrier Technology Corp, K.C.-ESK-1365, installed per manufacturer's instructions
140	Shutter - window or door - as per manufacturer (for size & type)
141	Skylight - as per plan or see roof plan (for size & type) and general notes
143	Stucco expansion screed 5/4"
146	Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - per manufacturer's instructions
147	Trellis - See plan for size, with exterior plaster over
148	
149	Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
150	Vent - foundation - wire mesh screen - 14" x 6"
151	Vent - garage - metal louvers and wire mesh screen - 14" x 6"

NOTE:
Please note the building elevation reference points. The Building height must comply with stated spot elevations. Contractor must notify the Architect during construction of any field discrepancies.

Permit Date

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

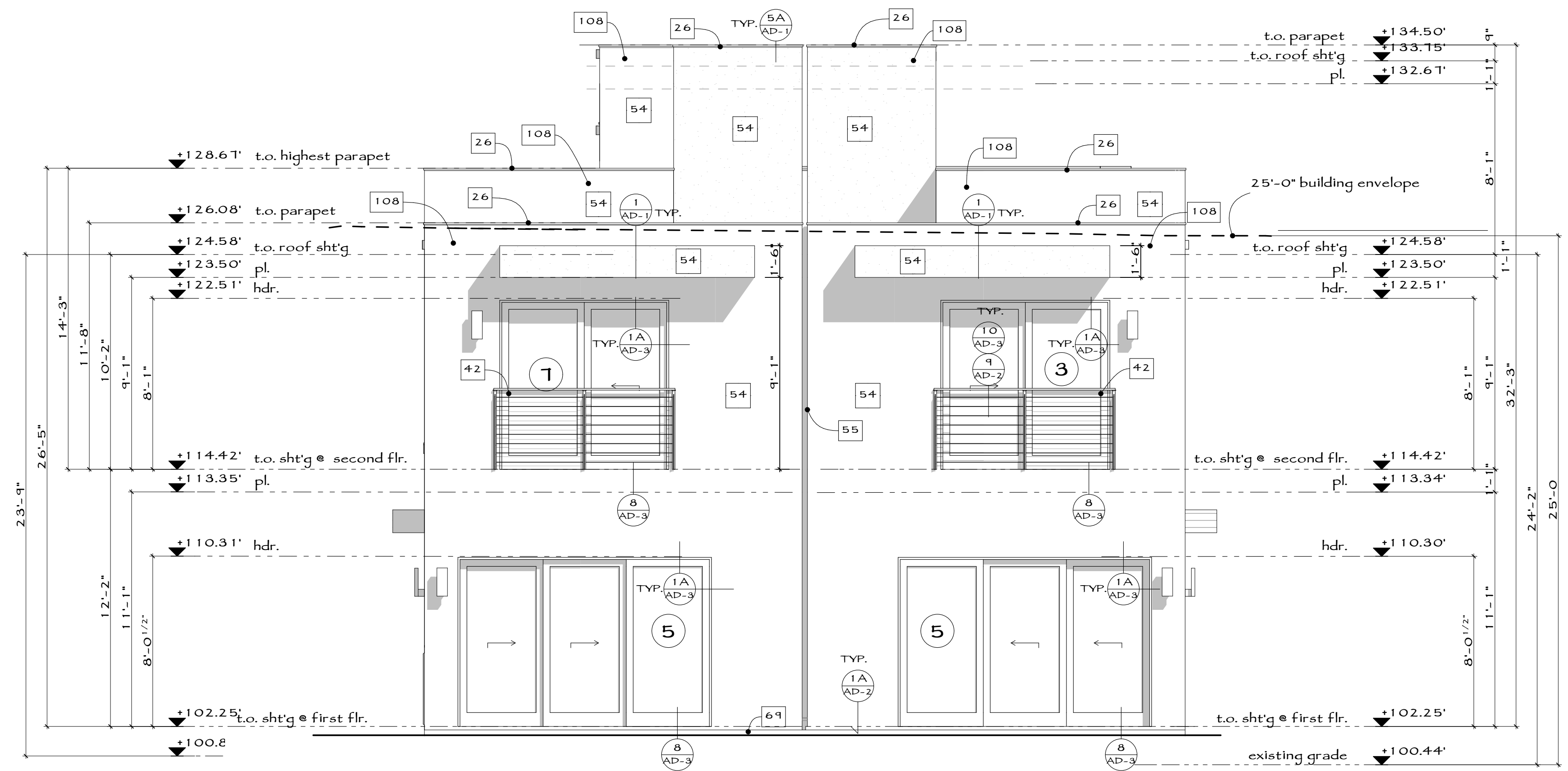
© 2010 SIA
All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.
SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

EXTERIOR ELEVATIONS

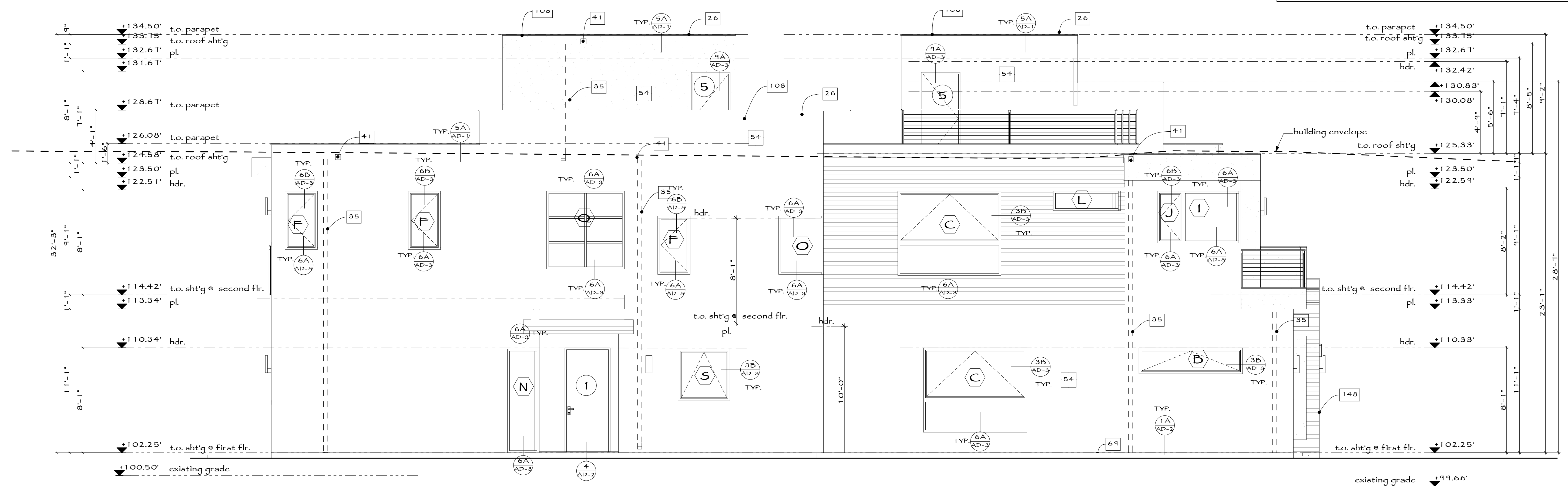
10/9/2014
scale:
prepared by: R,d,s
job #: 2013-184

A-2.1

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"

Elevation Notes

1	Anti-Graffiti finish on all exterior walls - Min. 9 feet high.
23	Concrete column per structural
24	Concrete splash guard
26	Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
27	Coping - stone or precast - see details
29	Crawl space access - 30" x 22"
34	Downspout
35	Downspout - Inside Wall- see plumbing code for requirements
36	Drain - area drain with minimum 2% slope to daylight
37	Drain - deck / floor - see plumbing code for requirements
38	Drain - roof - see plumbing code for requirements
39	Drain - roof - with overflow - see plumbing code for requirements
40	Drain - scupper drain - see plumbing code for requirements
41	Drain - scupper overflow - see plumbing code for requirements
50	Electrical meter & panel
51	Electrical sub-panel
53	Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system
54	Exterior plaster, 1/8" over metal lath and building paper
55	Expansion Joint
59	Fireplace - prefabricated chimney cap with spark arrester by fireplace manufacturer indicated
65	Fire department connection
66	Fire extinguisher - verify location
68	Flashing - galvanized iron (GI)
69	Foundation screed (weep screed)
11	Guardrail - 42" high - ornamental iron with less than 4" openings
12	Guardrail - 42" high - solid
13	Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
14	Handrail - 34" minimum to 38" maximum high - wall mounted
15	Handrail - 36" high - ornamental iron with less than 4" openings
16	Handrail/guardrail - 36" high - ornamental iron with less than 4" openings
17	HVAC - air conditioning condenser
18	HVAC - combination package unit
88	Leaderhead
91	Low wall - see plans for height
99	Moulding - plaster over foam or wood shape - see details
100	Moulding - precast shape - see details
106	Ornamental ironwork
108	Parapet
128	Roof deck slope 3/8" drop per 12" of run minimum to drain
129	Roof steel access hatch - 30" x 36", Dristolite Skylights model RAH
130	Roofing - built-up - class 'A' - see general notes & specifications
131	Roof access ladder - W.I. wall mounted
132	Roofing - composition shingle - class 'A' - see general notes & specifications
133	Roofing - tile - class 'A' - see general notes for specifications
134	Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details
139	Siding - Horizontal 2x6g hardwood siding (fire-treated) over building paper over Blazeguard sheathing with Pyrotite bonded to 1/2" cds plywood by Barrier Technology Corp., KCC-ESR-1369, installed per manufacturer's instructions
140	Shutter - window or door - as per manufacturer (for size & type)
141	Skylight - as per plan or see roof plan (for size & type) and general notes
143	Stucco expansion screed 5/4"
146	Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes for specifications
147	Trellis - See plan for size - with exterior plaster over
148	Trellis - See plan for size - with exterior plaster over
149	Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
150	Vent - foundation - wire mesh screen - 14" x 6"
151	Vent - garage - metal louvers and wire mesh screen - 14" x 6"

NOTE:
Please note the building elevation reference points. The Building height must comply with stated spot elevations. Contractor must notify the Architect during construction of any field discrepancies.

Permit Date

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA
All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.
SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

EXTERIOR ELEVATIONS

10/9/2014
scale:
prepared by: R.d.S
job #: 2013-184

A-2.2

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA
91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

COLOR EXTERIOR ELEVATIONS

10/9/2014

scale:

prepared by: R.d.S

job #: 2013-184



COLOR EAST (FRONT) ELEVATION



COLOR NORTH (LEFT) ELEVATION

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

Project

HUNTLEY APARTMENTS

723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles , CA 90034



20230 Wells Drive
Woodland Hills, CA
91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA. SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

COLOR EXTERIOR ELEVATIONS

10/9/2014

scale:

prepared by: R.d.S

job #: 2013-184

A-2.4



COLOR WEST (REAR) ELEVATION



COLOR SOUTH (RIGHT) ELEVATION

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90067

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA
91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

SECTION A

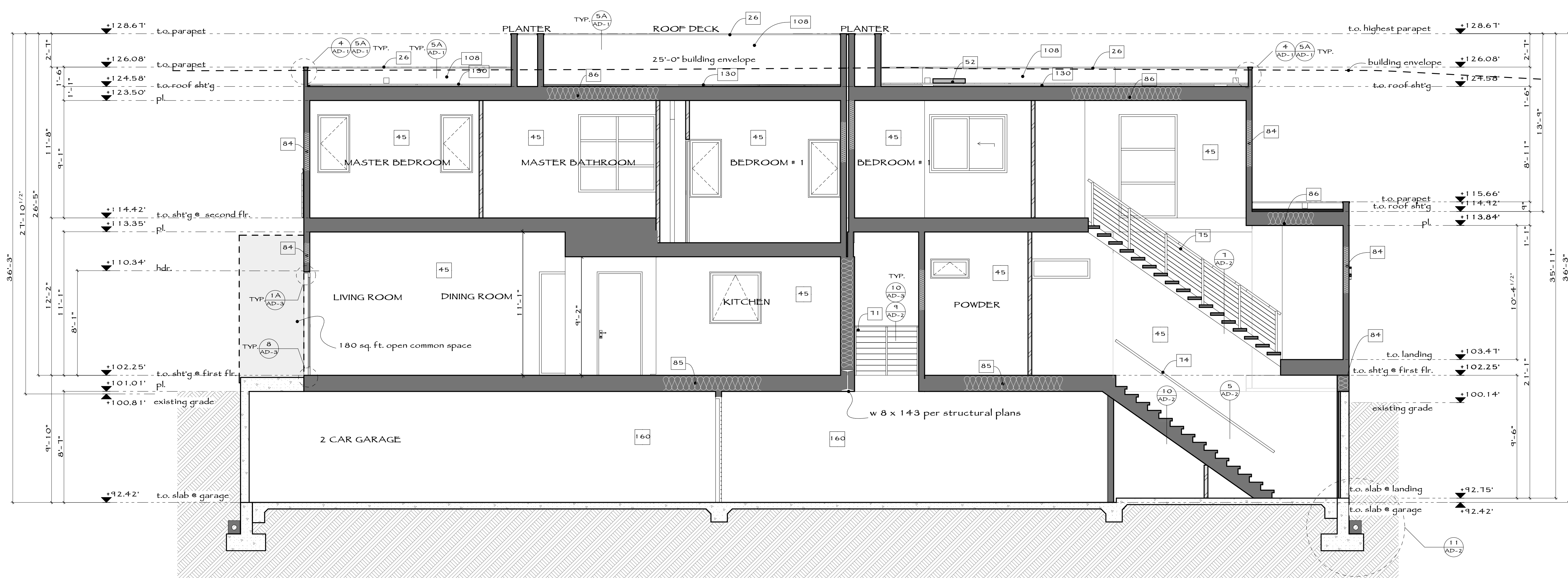
10/9/2014

scale:

prepared by: R,d,s

job #: 2013-184

A-3.1



SECTION A
1/4" = 1'-0"

Section Notes

1 Anti-Graffiti finish on all exterior walls - Min. 9 feet high.	4-9 Drywall - 5/8" water resistive gypsum board (Green Board)	84 Insulation - wall - R-13 batt min. - see CP-1R forms for required rating	131 Shower, Steam as specified by others
11 Attic access - 30" x 30"	52 Equipment platform - see details.	85 Insulation - floor - R-19 batt min. - see CP-1R forms for required rating	138 Shower - tile shower with tempered glass enclosure, 30" diameter clear and 1024 sq. in. min.
23 Concrete column per structural	53 Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system	86 Insulation - roof - R-30 batt min. - see CP-1R forms for required rating	139 Siding - Horizontal 2x t&g hardwood siding (fire-treated) over building paper over Dalseg Guard sheathing with Pyrotite bonded to 1/2" cdk plywood by Barrier Technology Corp., ICC-ESR-1365, installed per manufacturer's instructions
24 Concrete splash guard	54 Exterior plaster, 1/8" over metal lath and building paper	87 Laundry chute	141 Skylight - as per plan or see roof plan (for size & type) and general notes
26 Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	55 Fireplace - Combustion air intake	88 Leaderhead	143 Stucco expansion screed 5/4"
27 Coping - stone or precast - see details	58 Fireplace - metal flue - prefabricated by fireplace manufacturer indicated	91 Low wall - see plans for height	145 Trash chute - 2 Hour shaft w/ 90 Min. door - provide vent and fire sprinkler at top.
29 Crawl space access - 30" x 22"	59 Fireplace - prefabricated chimney cap with spark arrester by fireplace manufacturer indicated.	99 Moulding - plaster over foam or wood shape - see details	146 Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
31 Deck slope 1/4" drop per 12" of run minimum to drain	65 Fire department connection	100 Moulding - precast shape - see details	147 Trellis - see plan for size, with exterior plaster over
32 Deck waterproofing - Dex-O-Tex - class 'A' - L.A.R.R. #2360, ICC-ES ESR-1151	66 Fire extinguisher - verify location	102 Occupancy separation wall - 3-Hour - see details	148 Veneer - lightweight stone - see general notes for specifications
33 Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see #108)	68 Flashing - galvanized iron (GI)	105 Opening in parapet wall for continuous water flow	149 Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
34 Downspout	69 Foundation screed (weep screed)	106 Ornamental ironwork	150 Vent - Foundation - wire mesh screen - 14" x 6"
35 Downspout - Inside Wall - see plumbing code for requirements	71 Guardrail - 42" high - ornamental iron with less than 4" openings	108 Parapet	151 Vent - garage - metal louvers and wire mesh screen - 14" x 6"
36 Drain - area drain with minimum 2% slope to daylight	72 Guardrail - 42" high - solid	125 Raised platform - 18" high	156 Wall - 2 x 4 studs - furring for plumbing
37 Drain - deck / floor - see plumbing code for requirements	73 Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	126 Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier	159 Wall - party wall - see details
38 Drain - roof - see plumbing code for requirements	74 Handrail - 34" minimum to 38" maximum high - wall mounted	127 Rat slab	160 Wall - masonry - see structural drawings
39 Drain - roof - with overflow - see plumbing code for requirements	75 Handrail - 36" high - ornamental iron with less than 4" openings	128 Roof deck slope 3/8" drop per 12" of run minimum to drain	161 Wall - 1-Hour assembly
40 Drain - scupper drain - see plumbing code for requirements	76 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	129 Roof steel access hatch - 30" x 36", Bristolite Skylights model RAM	162 Wall - 2-Hour assembly
41 Drain - scupper overflow - see plumbing code for requirements	77 HVAC - air conditioning condenser	130 Roofing - built-up - class 'A' - see general notes & specifications	163 Wall - 3-Hour assembly
42 Drop soffit	78 HVAC - combination package unit	131 Roof access ladder - W.I. wall mounted.	164 Water heater with circulating pump and seismic strap anchoring
44 Drywall - 5/8" gypsum board	79 HVAC - forced air unit (fau) - horizontal	132 Roofing - composition shingle - class 'A' - see general notes & specifications	165 Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report
45 Drywall - 5/8" gypsum board - with skim coat and texture as specified by others	80 HVAC - forced air unit (fau) - vertical	133 Roofing - tile - class 'A' - see general notes for specifications	
46 Drywall - 5/8" gypsum board top over plywood backing	81 HVAC - mechanical shaft	134 Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details	
47 Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garages, around	82 HVAC - return air grille	135 Shower enclosure - safety glass	
48 Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs	83 HVAC - supply air grille	136 Shower seat - 16" high	

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

SECTION B

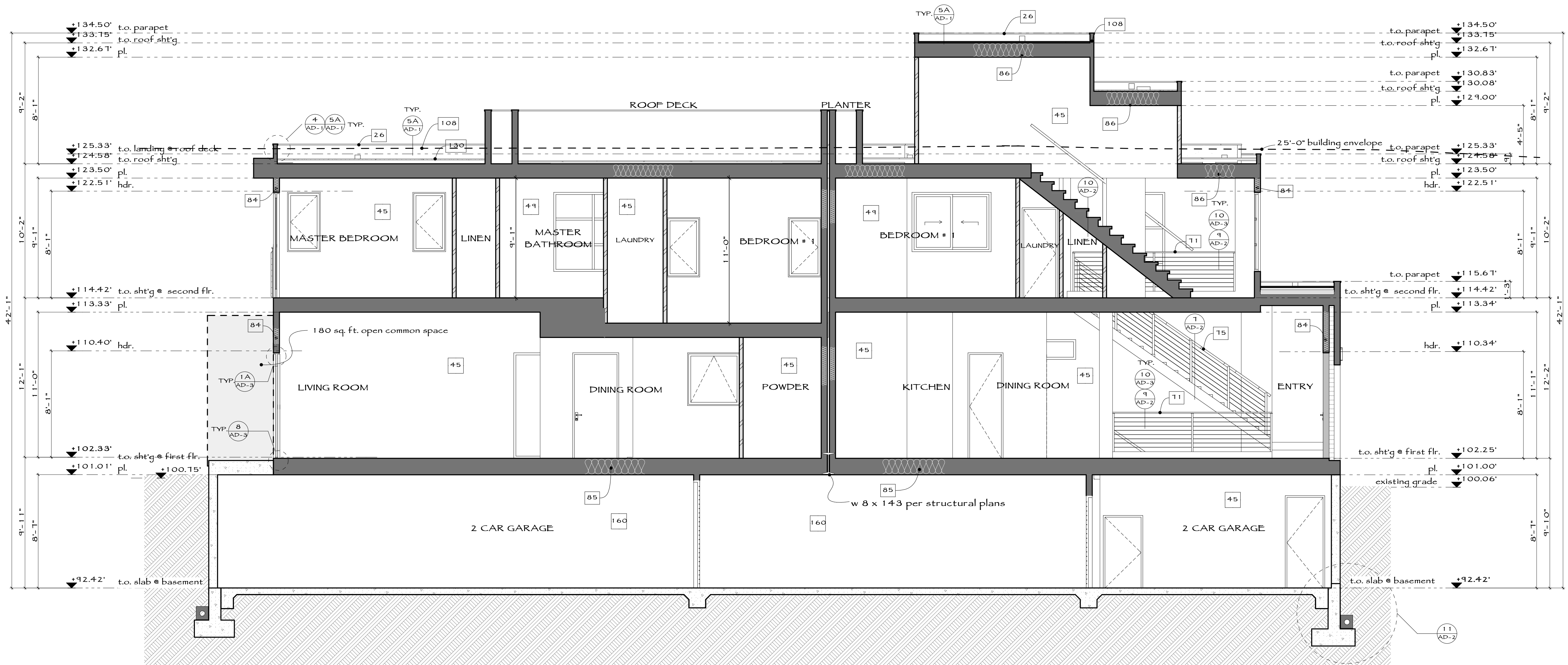
10/9/2014

scale as noted

prepared by: R,d,s

job #: 2013-184

A-3.2



SECTION B
1/4" = 1'-0"

Section Notes

1 Anti-Graffiti finish on all exterior walls - Min. 9 feet high.	4-9 Drywall - 5/8" water resistive gypsum board (Green Board)	8-4 Insulation - wall - R-13 batt min. - see CP-1R forms for required rating	13-1 Shower, Steam as specified by others
1-1 Attic access - 30" x 30"	5-2 Equipment platform - see details.	8-5 Insulation - floor - R-19 batt min. - see CP-1R forms for required rating	13-8 Shower - tile shower with tempered glass enclosure, 30" diameter clear and 102.4 sq. in. min.
2-3 Concrete column per structural	5-3 Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system	8-6 Insulation - roof - R-30 batt min. - see CP-1R forms for required rating	13-9 Siding - Horizontal 2x t&g hardwood siding (fire-treated) over building paper over Dalseg Guard sheathing with Pyrotite bonded to 1/2" cdx plywood by Barrier Technology Corp. ICC-ESR-1365, installed per manufacturer's instructions
2-4 Concrete splash guard	5-4 Exterior plaster, 1/8" over metal lath and building paper	8-7 Laundry chute	14-1 Skylight - as per plan or see roof plan (for size & type) and general notes
2-6 Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	5-5 Fireplace - Combustion air intake	8-8 Leaderhead	14-3 Stucco expansion screed 5/4"
2-7 Coping - stone or precast - see details	5-8 Fireplace - metal flue - prefabricated by fireplace manufacturer indicated	9-1 Low wall - see plans for height	14-5 Trash chute - 2 Hour shaft w/ 90 Min. door - provide vent and fire sprinkler at top.
2-9 Crawl space access - 30" x 22"	5-9 Fireplace - prefabricated chimney cap with spark arrester by fireplace manufacturer indicated.	10-0 Moulding - precast shape - see details	14-6 Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
3-1 Deck slope 1/4" drop per 12" of run minimum to drain	6-5 Fire department connection	10-2 Occupancy separation wall - 3-Hour - see details	14-7 Trelis - see plan for size, with exterior plaster over
3-2 Deck waterproofing - Dex-O-Tex - class 'A' - L.A.R.R. #2360, ICC-ES ESR-1151	6-6 Fire extinguisher - verify location	10-5 Opening in parapet wall for continuous water flow	14-8 Veneer - lightweight stone - see general notes for specifications
3-3 Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see #108)	6-8 Flashing - galvanized iron (GI)	10-6 Ornamental ironwork	14-9 Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
3-4 Downspout	6-9 Foundation screed (weep screed)	10-8 Parapet	15-0 Vent - Foundation - wire mesh screen - 14" x 6"
3-5 Downspout - Inside Wall - see plumbing code for requirements	7-1 Guardrail - 42" high - ornamental iron with less than 4" openings	12-5 Raised platform - 18" high	15-1 Vent - garage - metal louvers and wire mesh screen - 14" x 6"
3-6 Drain - area drain with minimum 2% slope to daylight	7-2 Guardrail - 42" high - solid	12-6 Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier	15-6 Wall - 2 x 4 studs - furring for plumbing
3-7 Drain - deck / floor - see plumbing code for requirements	7-3 Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	12-7 Kat slab	15-9 Wall - party wall - see details
3-8 Drain - roof - see plumbing code for requirements	7-4 Handrail - 34" minimum to 38" maximum high - wall mounted	12-8 Roof deck slope 3/8" drop per 12" of run minimum to drain	16-0 Wall - masonry - see structural drawings
3-9 Drain - roof - with overflow - see plumbing code for requirements	7-5 Handrail - 36" high - ornamental iron with less than 4" openings	12-9 Roof steel access hatch - 30" x 36", Bristolite Skylights model RAM	16-1 Wall - 1-Hour assembly
4-0 Drain - scupper drain - see plumbing code for requirements	7-6 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	13-0 Roofing - built-up - class 'A' - see general notes & specifications	16-2 Wall - 2-Hour assembly
4-1 Drain - scupper over flow - see plumbing code for requirements	7-7 HVAC - air conditioning condenser	13-1 Roof access ladder - w/ wall mounted.	16-3 Wall - 3-Hour assembly
4-2 Drop soffit	7-8 HVAC - combination package unit	13-2 Roofing - composition shingle - class 'A' - see general notes & specifications	16-4 Water heater with circulating pump and seismic strap anchoring
4-4 Drywall - 5/8" gypsum board	7-9 HVAC - forced air unit (fau) - horizontal	13-3 Roofing - tile - class 'A' - see general notes for specifications	16-5 Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report
4-5 Drywall - 5/8" gypsum board with skim coat and texture as specified by others	8-0 HVAC - forced air unit (fau) - vertical	13-4 Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details	
4-6 Drywall - 5/8" gypsum board top over plywood backing	8-1 HVAC - mechanical shaft	13-5 Shower enclosure - safety glass	
4-7 Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garages, around	8-2 HVAC - return air grille	13-6 Shower seat - 16" high	
4-8 Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs	8-3 HVAC - supply air grille		

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner
Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

SECTION C

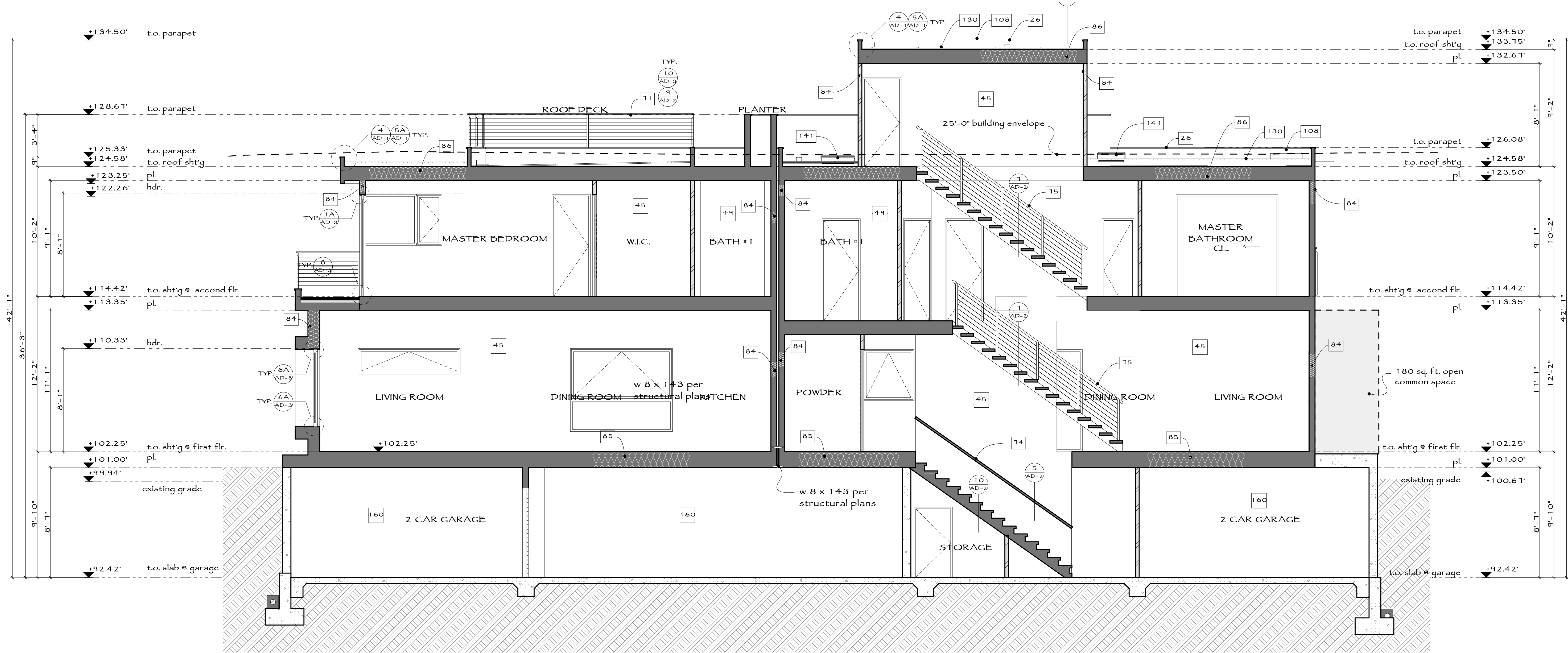
10/9/2014

scale:

prepared by: R.d.S

job #: 2013-184

A-3.3



SECTION C
1/4" = 1'-0"

Section Notes

1 Anti-Graffiti finish on all exterior walls - Min. 9 feet high.	4-9 Drywall - 5/8" water relative gypsum board (Green Board)	84 Insulation - wall - R-13 batt min. - see CP-1R forms for required rating	131 Shower, Steam as specified by others
11 Attic access - 30" x 30"	52 Equipment platform - see details.	85 Insulation - floor - R-19 batt min. - see CP-1R forms for required rating	138 Shower - tile shower with tempered glass enclosure, 30" diameter clear and 1024 sq. in. min.
23 Concrete column per structural	53 Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system	86 Insulation - roof - R-30 batt min. - see CP-1R forms for required rating	139 Siding - horizontal 2x t&g hardwood siding (fire-treated) over building paper over Blazeguard sheathing with Pyrotite bonded to 1/2" cdx plywood by Barrier Technology Corp., ICC-ESR-1365, installed per manufacturer's instructions
24 Concrete splash guard	54 Exterior plaster, 1/8" over metal lath and building paper	87 Laundry chute	141 Skylight - as per plan or see roof plan (for size & type) and general notes
26 Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	55 Fireplace - Combustion air intake	88 Leaderhead	143 Stucco expansion screed 5/4"
27 Coping - stone or precast - see details	58 Fireplace - metal flue - prefabricated by fireplace manufacturer indicated	91 Low wall - see plans for height	145 Trash chute - 2 Hour shaft w/ 90 Min. door - provide vent and fire sprinkler at top.
29 Crawl space access - 30" x 22"	59 Fireplace - prefabricated chimney cap with spark arrester by fireplace manufacturer indicated.	99 Moulding - plaster over foam or wood shape - see details	146 Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
31 Deck slope 1/4" drop per 12" of run minimum to drain	65 Fire department connection	100 Moulding - precast shape - see details	147 Trelis - see plan for size, with exterior plaster over
32 Deck waterproofing - Dex-O-Tex - class 'A' - L.A.R.R. #2360, ICC-ES ESR-1151	66 Fire extinguisher - verify location	102 Occupancy separation wall - 3-Hour - see details	148 Veneer - lightweight stone - see general notes for specifications
33 Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see #108)	68 Flashing - galvanized iron (GI)	105 Opening in parapet wall for continuous water flow	149 Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
34 Downspout	69 Foundation screed (weep screed)	106 Ornamental ironwork	150 Vent - Foundation - wire mesh screen - 14" x 6"
35 Downspout - Inside Wall - see plumbing code for requirements	71 Guardrail - 42" high - ornamental iron with less than 4" openings	108 Parapet	151 Vent - garage - metal louvers and wire mesh screen - 14" x 6"
36 Drain - area drain with minimum 2% slope to daylight	72 Guardrail - 42" high - solid	125 Raised platform - 18" high	156 Wall - 2 x 4 studs - furring for plumbing
37 Drain - deck / floor - see plumbing code for requirements	73 Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	126 Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier	159 Wall - party wall - see details
38 Drain - roof - see plumbing code for requirements	74 Handrail - 34" minimum to 38" maximum high - wall mounted	127 Kat slab	160 Wall - masonry - see structural drawings
39 Drain - roof - with overflow - see plumbing code for requirements	75 Handrail - 36" high - ornamental iron with less than 4" openings	128 Roof deck slope 3/8" drop per 12" of run minimum to drain	161 Wall - 1-Hour assembly
40 Drain - scupper drain - see plumbing code for requirements	76 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	129 Roof steel access hatch - 30" x 36", Bristolite Skylights model RAH	162 Wall - 2-Hour assembly
41 Drain - scupper over flow - see plumbing code for requirements	77 HVAC - air conditioning condenser	130 Roofing - built-up - class 'A' - see general notes & specifications	163 Wall - 3-Hour assembly
42 Drop soffit	78 HVAC - combination package unit	131 Roof access ladder - WI wall mounted.	164 Water heater with circulating pump and seismic strap anchoring
44 Drywall - 5/8" gypsum board	79 HVAC - forced air unit (fau) - horizontal	132 Roofing - composition shingle - class 'A' - see general notes & specifications	165 Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report
45 Drywall - 5/8" gypsum board with skim coat and texture as specified by others	80 HVAC - forced air unit (fau) - vertical	133 Roofing - tile - class 'A' - see general notes for specifications	
46 Drywall - 5/8" gypsum board top over plywood backing	81 HVAC - mechanical shaft	134 Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details	
47 Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garages, around	82 HVAC - return air grille	135 Shower enclosure - safety glass	
48 Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs	83 HVAC - supply air grille	136 Shower seat - 16" high	

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner
Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.

SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

SECTION D

10/9/2014

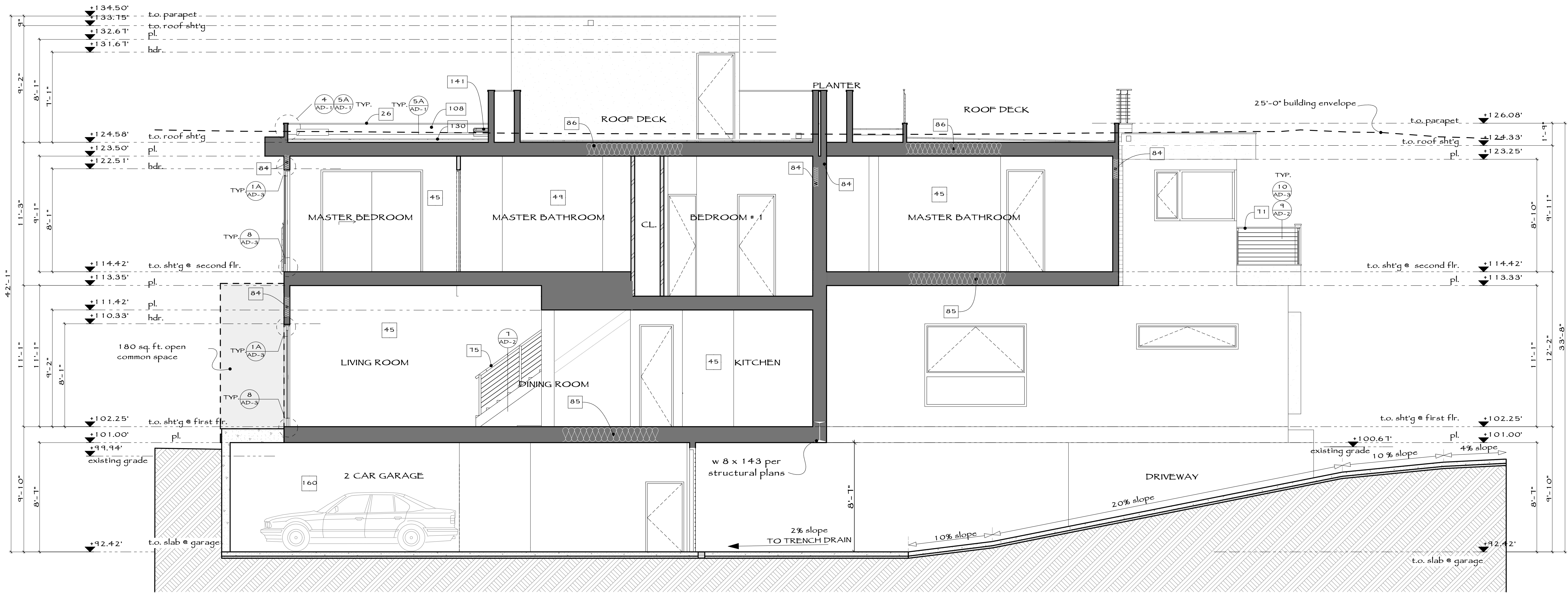
scale:

prepared by: R.d.S

job #: 2013-184

A-3.4

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

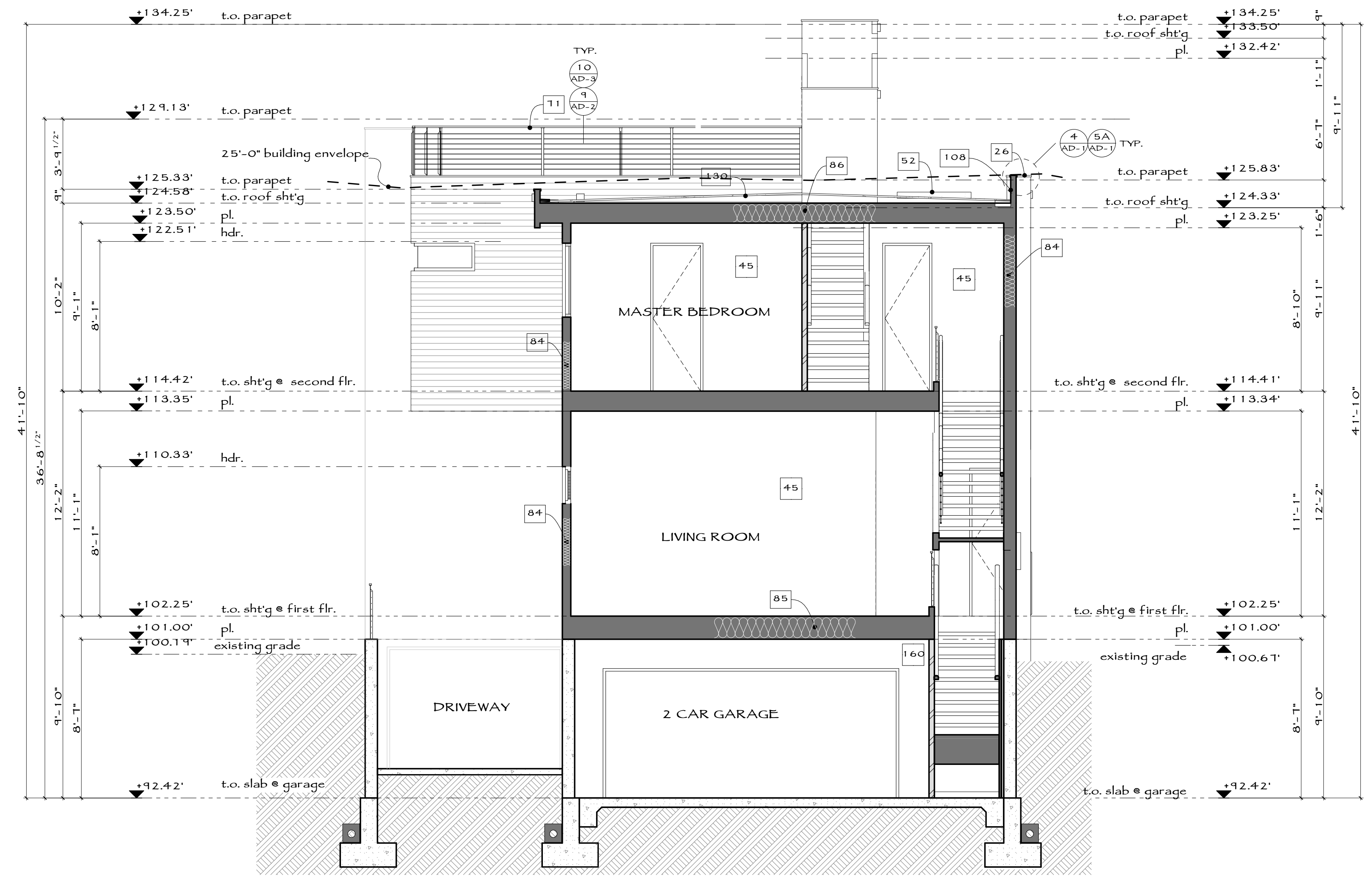


SECTION D
1/4" = 1'-0"

Section Notes

1 Anti-Graffiti finish on all exterior walls - Min. 9 feet high.	4-9 Drywall - 5/8" water resistive gypsum board (Green Board)	8-4 Insulation - wall - R-13 batt min. - see CP-1R forms for required rating	13-1 Shower, Steam as specified by others
1-1 Attic access - 30" x 30"	5-2 Equipment platform - see details.	8-5 Insulation - floor - R-19 batt min. - see CP-1R forms for required rating	13-8 Shower - tile shower with tempered glass enclosure, 30" diameter clear and 102.4 sq. in. min.
2-3 Concrete column per structural	5-3 Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system	8-6 Insulation - roof - R-30 batt min. - see CP-1R forms for required rating	13-9 Sliding - Horizontal 2x t&g hardwood siding (fire-treated) over building paper over Blazeguard sheathing with Pyrotite bonded to 1/2" cdx plywood by Barrier Technology Corp., ICC-ESR-1365, installed per manufacturer's instructions
2-4 Concrete splash guard	5-4 Exterior plaster, 1/8" over metal lath and building paper	8-7 Laundry chute	14-1 Skylight - as per plan or see roof plan (for size & type) and general notes
2-6 Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	5-5 Fireplace - Combustion air Intake	8-8 Leaderhead	14-3 Stucco expansion screed 5/4"
2-7 Coping - stone or precast - see details	5-8 Fireplace - metal flue - prefabricated by fireplace manufacturer indicated	9-1 Low wall - see plans for height	14-5 Trash chute - 2 Hour shaft w/ 90 Min. door - provide vent and fire sprinkler at top.
2-9 Crawl space access - 30" x 22"	5-9 Fireplace - prefabricated chimney cap with spark arrester by fireplace manufacturer indicated.	9-9 Moulding - plaster over foam or wood shape - see details	14-6 Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
3-1 Deck slope 1/4" drop per 12" of run minimum to drain	6-5 Fire department connection	10-0 Moulding - precast shape - see details	14-7 Trellis - see plan for size, with exterior plaster over
3-2 Deck waterproofing - Dex-O-Tex - class 'A' - L.A.R.R. #2360, ICC-ES ESR-1151	6-6 Fire extinguisher - verify location	10-2 Occupancy separation wall - 3-Hour - see details	14-8 Veneer - lightweight stone - see general notes for specifications
3-3 Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see #108)	6-8 Flashing - galvanized iron (GI)	10-5 Opening in parapet wall for continuous water flow	14-9 Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
3-4 Downspout	6-9 Foundation screed (weep screed)	10-6 Ornamental ironwork	15-0 Vent - Foundation - wire mesh screen - 14" x 6"
3-5 Downspout - Inside Wall - see plumbing code for requirements	7-1 Guardrail - 42" high - ornamental iron with less than 4" openings	10-8 Parapet	15-1 Vent - garage - metal louvers and wire mesh screen - 14" x 6"
3-6 Drain - area drain with minimum 2% slope to daylight	7-2 Guardrail - 42" high - solid	12-5 Raised platform - 18" high	15-6 Wall - 2 x 4 studs - furring for plumbing
3-7 Drain - deck / floor - see plumbing code for requirements	7-3 Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans	12-6 Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier	15-9 Wall - party wall - see details
3-8 Drain - roof - see plumbing code for requirements	7-4 Handrail - 34" minimum to 36" maximum high - wall mounted	12-7 Kat slab	16-0 Wall - masonry - see structural drawings
3-9 Drain - roof - with overflow - see plumbing code for requirements	7-5 Handrail - 36" high - ornamental iron with less than 4" openings	12-8 Roof deck slope 3/8" drop per 12" of run minimum to drain	16-1 Wall - 1-Hour assembly
4-0 Drain - scupper drain - see plumbing code for requirements	7-6 Handrail/guardrail - 36" high - ornamental iron with less than 4" openings	12-9 Roof steel access hatch - 30" x 36", Bristolite Skylights model RAH	16-2 Wall - 2-Hour assembly
4-1 Drain - scupper over flow - see plumbing code for requirements	7-7 HVAC - air conditioning condenser	13-0 Roofing - built-up - class 'A' - see general notes & specifications	16-3 Wall - 3-Hour assembly
4-2 Drop soffit	7-8 HVAC - combination package unit	13-1 Roof access ladder - W.I. wall mounted.	16-4 Water heater with circulating pump and seismic strap anchoring
4-4 Drywall - 5/8" gypsum board	7-9 HVAC - forced air unit (fau) - horizontal	13-2 Roofing - composition shingle - class 'A' - see general notes & specifications	16-5 Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report
4-5 Drywall - 5/8" gypsum board - with skim coat and texture as specified by others	8-0 HVAC - forced air unit (fau) - vertical	13-3 Roofing - tile - class 'A' - see general notes for specifications	
4-6 Drywall - 5/8" gypsum board top over plywood backing	8-1 HVAC - mechanical shaft	13-4 Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details	
4-7 Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garages, around	8-2 HVAC - return air grille	13-5 Shower enclosure - safety glass	
4-8 Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs	8-3 HVAC - supply air grille	13-6 Shower seat - 16" high	

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



SECTION E
1/4" = 1'-0"

Section Notes	
1	Anti-Graffiti finish on all exterior walls - Min. 9 feet high.
1.1	Attic access - 30" x 30"
2.3	Concrete column per structural
2.4	Concrete splash guard
2.6	Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
2.7	Coping - stone or precast - see details
2.9	Crawl space access - 30" x 22"
3.1	Deck slope 1/4" drop per 12" of run minimum to drain
3.2	Deck waterproofing - Dex-O-Tex - class 'A' - LAKK #2360, ICC-ES ESR-1151
3.3	Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see +108)
3.4	Downspout
3.5	Downspout - inside wall - see plumbing code for requirements
3.6	Drain - area drain with minimum 2% slope to daylight
3.7	Drain - deck / floor - see plumbing code for requirements
3.8	Drain - roof - see plumbing code for requirements
3.9	Drain - roof - with overflow - see plumbing code for requirements
4.0	Drain - scupper drain - see plumbing code for requirements
4.1	Drain - scupper overflow - see plumbing code for requirements
4.2	Drop soffit
4.4	Drywall - 5/8" gypsum board
4.5	Drywall - 5/8" gypsum board - with skim coat and texture as specified by others
4.6	Drywall - 5/8" gypsum board top over plywood backing
4.7	Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garage, around
4.8	Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs
4.9	Drywall - 5/8" water resistant gypsum board (Green Board)
5.2	Equipment platform - see details
5.3	Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system
5.4	Exterior plaster, 1/8" over metal lath and building paper
5.5	Fireplace - Combustion air intake
5.8	Fireplace - metal flue - prefabricated by fireplace manufacturer indicated
5.9	Fireplace - prefabricated chimney cap with spark arrestor by fireplace manufacturer indicated
6.5	Fire department connection
6.6	Fire extinguisher - verify location
6.8	Flashing - galvanized iron (GI)
6.9	Foundation screed (weep screed)
7.1	Guardrail - 42" high - ornamental iron with less than 4" openings
7.2	Guardrail - 42" high - solid
7.3	Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
7.4	Handrail - 34" minimum to 38" maximum high - wall mounted
7.5	Handrail - 36" high - ornamental iron with less than 4" openings
7.6	Handrail/guardrail - 36" high - ornamental iron with less than 4" openings
7.7	Handrail/guardrail - 36" high - ornamental iron with less than 4" openings
7.8	HVAC - air conditioning condenser
7.8	HVAC - combination package unit
7.9	HVAC - forced air unit (fau) - horizontal
7.9	HVAC - forced air unit (fau) - vertical
8.1	HVAC - mechanical shaft
8.2	HVAC - return air grille
8.3	HVAC - supply air grille
8.4	Insulation - wall - R-13 batt min. - see CP-1R forms for required rating
8.5	Insulation - floor - R-19 batt min. - see CP-1R forms for required rating
8.6	Insulation - roof - R-30 batt min. - see CP-1R forms for required rating
8.7	Laundry chute
8.8	Leaderhead
9.1	Low wall - see plans for height
9.9	Moulding - plaster over foam or wood shape - see details
1.00	Moulding - precast shape - see details
1.02	Occupancy separation wall - 3-Hour - see details
1.05	Opening in parapet wall for continuous water flow
1.06	Ornamental ironwork
1.08	Parapet
1.25	Raised platform - 18" high
1.26	Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier
1.2.1	Rat slab
1.2.8	Roof deck slope 3/8" drop per 12" of run minimum to drain
1.2.9	Roof steel access hatch - 30" x 36", Bristolite Skylights model RAH
1.3.0	Roofing - built-up - class 'A' - see general notes & specifications
1.3.1	Roof access ladder - W.I. wall mounted.
1.3.2	Roofing - composition shingle - class 'A' - see general notes & specifications
1.3.3	Roofing - tile - class 'A' - see general notes for specifications
1.3.4	Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details
1.3.5	Shower enclosure - safety glass
1.3.6	Shower seat - 16" high
1.3.7	Shower, Steam - as specified by others
1.3.8	Shower - tile shower with tempered glass enclosure, 30" diameter clear and 1024 sq. in. min.
1.3.9	Siding - Horizontal 2x6 hardwood siding (fire-treated) over building paper over Blazeguard sheathing with Pyrotite bonded to 1/2" cdx plywood by Barrier Technology Corp., ICC-ESR-1365, installed per manufacturer's instructions
1.4.1	Skylight - as per plan or see roof plan (for size & type) and general notes
1.4.3	Stucco expansion screed 5/4"
1.4.5	Trash chute - 2 Hour shaft W/ 90 Min. door - provide vent and fire sprinkler at top.
1.4.6	Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
1.4.7	Trellis - See plan for size, with exterior plaster over
1.4.8	Veneer - lightweight stone - see general notes for specifications
1.4.9	Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
1.5.0	Vent - foundation - wire mesh screen - 14" x 6"
1.5.1	Vent - garage - metal louvers and wire mesh screen - 14" x 6"
1.5.6	Wall - 2 x 4 studs - furring for plumbing
1.5.9	Wall - party wall - see details
1.6.0	Wall - masonry - see structural drawings
1.6.1	Wall - 1-Hour assembly
1.6.2	Wall - 2-Hour assembly
1.6.3	Wall - 3-Hour assembly
1.6.4	Water heater with circulating pump and seismic strap anchoring
1.6.5	Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report

Permit Date

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

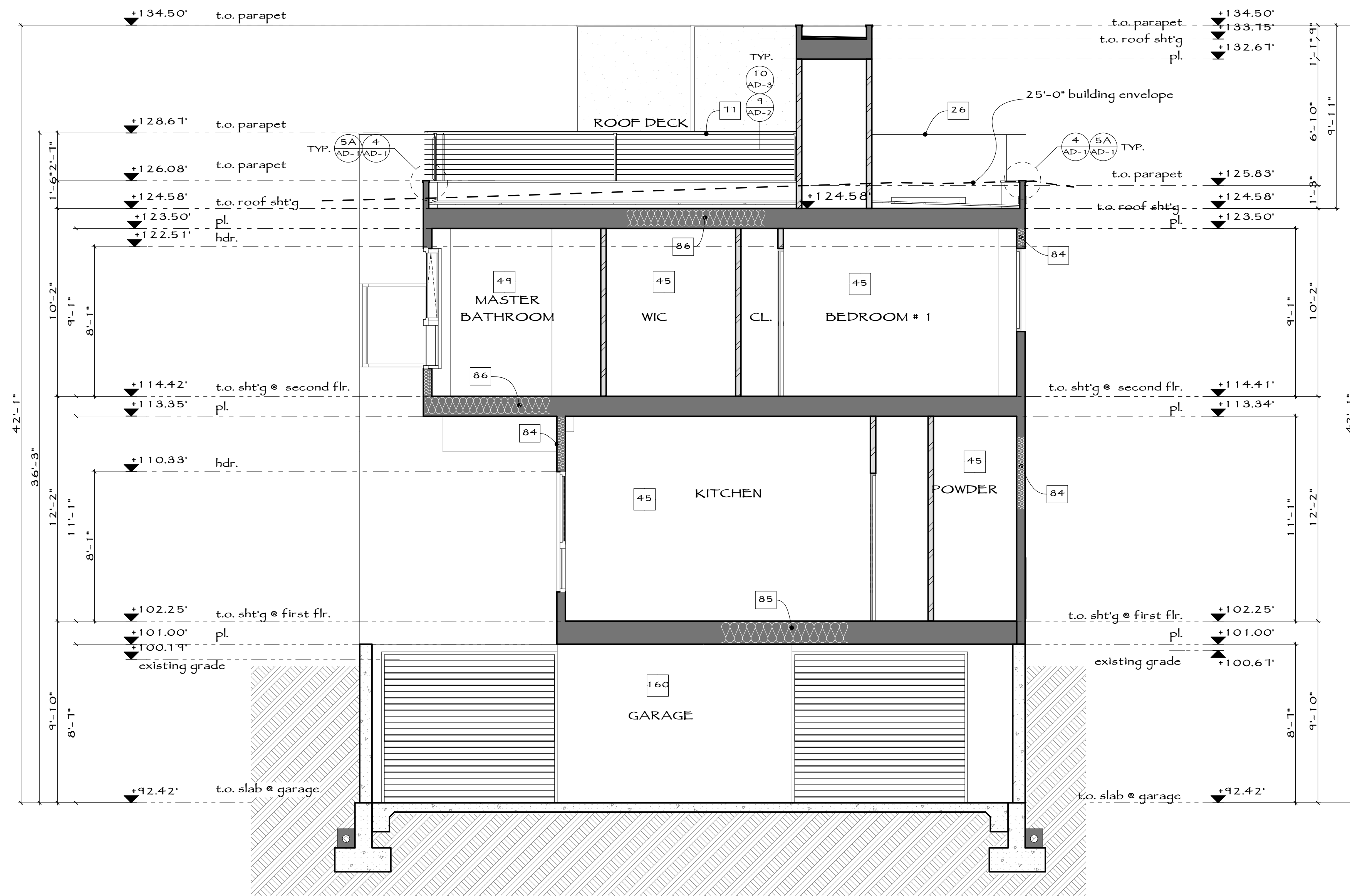
© 2010 SIA
All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.
SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

SECTION E

10/9/2014
scale:
prepared by: R.d.S
job #: 2013-184

A-3.5

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



SECTION F
1/4" = 1'-0"

Section Notes	
1	Anti-Graffiti finish on all exterior walls - Min. 9 feet high.
11	Attic access - 30" x 30"
23	Concrete column per structural
24	Concrete splash guard
26	Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
27	Coping - stone or precast - see details
29	Crawl space access - 30" x 22"
31	Deck slope 1/4" drop per 12" of run minimum to drain
32	Deck waterproofing - Dex-O-Tex - class 'A' - LAKK +2360, ICC-ES ESR-1151
33	Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see +108)
34	Downspout
35	Downspout - inside wall - see plumbing code for requirements
36	Drain - area drain with minimum 2% slope to daylight
37	Drain - deck / floor - see plumbing code for requirements
38	Drain - roof - see plumbing code for requirements
39	Drain - roof - with overflow - see plumbing code for requirements
40	Drain - scupper drain - see plumbing code for requirements
41	Drain - scupper overflow - see plumbing code for requirements
42	Drop soffit
44	Drywall - 5/8" gypsum board
45	Drywall - 5/8" gypsum board - with skim coat and texture as specified by others
46	Drywall - 5/8" gypsum board top over plywood backing
47	Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garage, around
48	Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs
49	Drywall - 5/8" water resistive gypsum board (Green Board)
52	Equipment platform - see details.
53	Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system
54	Exterior plaster, 1/8" over metal lath and building paper
55	Fireplace - Combustion air intake
58	Fireplace - metal flue - prefabricated by fireplace manufacturer indicated
59	Fireplace - prefabricated chimney cap with spark arrestor by fireplace manufacturer indicated
65	Fire department connection
66	Fire extinguisher - verify location
68	Flashing - galvanized iron (GI)
69	Foundation screed (weep screed)
71	Guardrail - 42" high - ornamental iron with less than 4" openings
72	Guardrail - 42" high - solid
73	Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
74	Handrail - 34" minimum to 38" maximum high - wall mounted
75	Handrail - 36" high - ornamental iron with less than 4" openings
76	Handrail/guardrail - 36" high - ornamental iron with less than 4" openings
77	HVAC - air conditioning condenser
78	HVAC - combination package unit
79	HVAC - forced air unit (fau) - horizontal
80	HVAC - forced air unit (fau) - vertical
81	HVAC - mechanical shaft
82	HVAC - return air grille
83	HVAC - supply air grille
84	Insulation - wall - R-13 batt min. - see CP-1R forms for required rating
85	Insulation - floor - R-19 batt min. - see CP-1R forms for required rating
86	Insulation - roof - R-30 batt min. - see CP-1R forms for required rating
87	Laundry chute
88	Leaderhead
91	Low wall - see plans for height
99	Moulding - plaster over foam or wood shape - see details
100	Moulding - precast shape - see details
102	Occupancy separation wall - 3-Hour - see details
105	Opening in parapet wall for continuous water flow
106	Ornamental ironwork
108	Parapet
125	Raised platform - 18" high
126	Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier
127	Rat slab
128	Roof deck slope 3/8" drop per 12" of run minimum to drain
129	Roof steel access hatch - 30" x 36", Bristolite Skylights model RAH
130	Roofing - built-up - class 'A' - see general notes & specifications
131	Roof access ladder - W.I. wall mounted.
132	Roofing - composition shingle - class 'A' - see general notes & specifications
133	Roofing - tile - class 'A' - see general notes for specifications
134	Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details
135	Shower enclosure - safety glass
136	Shower seat - 16" high
137	Shower, Steam - as specified by others
138	Shower - tile shower with tempered glass enclosure, 30" diameter clear and 1024 sq. in. min.
139	Siding - Horizontal 2x6 hardwood siding (fire-treated) over building paper over Blazeguard sheathing with Pyrotite bonded to 1/2" cdx plywood by Barrier Technology Corp., ICC-ESR-1365, installed per manufacturer's instructions
141	Skylight - as per plan or see roof plan (for size & type) and general notes
143	Stucco expansion screed 5/4"
145	Trash chute - 2-Hour shaft w/ 90 Min. door - provide vent and fire sprinkler at top.
146	Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
147	Trellis - See plan for size, with exterior plaster over
148	Veneer - lightweight stone - see general notes for specifications
149	Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
150	Vent - foundation - wire mesh screen - 14" x 6"
151	Vent - garage - metal louvers and wire mesh screen - 14" x 6"
156	Wall - 2 x 4 studs - furring for plumbing
159	Wall - party wall - see details
160	Wall - masonry - see structural drawings
161	Wall - 1-Hour assembly
162	Wall - 2-Hour assembly
163	Wall - 3-Hour assembly
164	Water heater with circulating pump and seismic strap anchoring
165	Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report

Permit Date

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90067

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

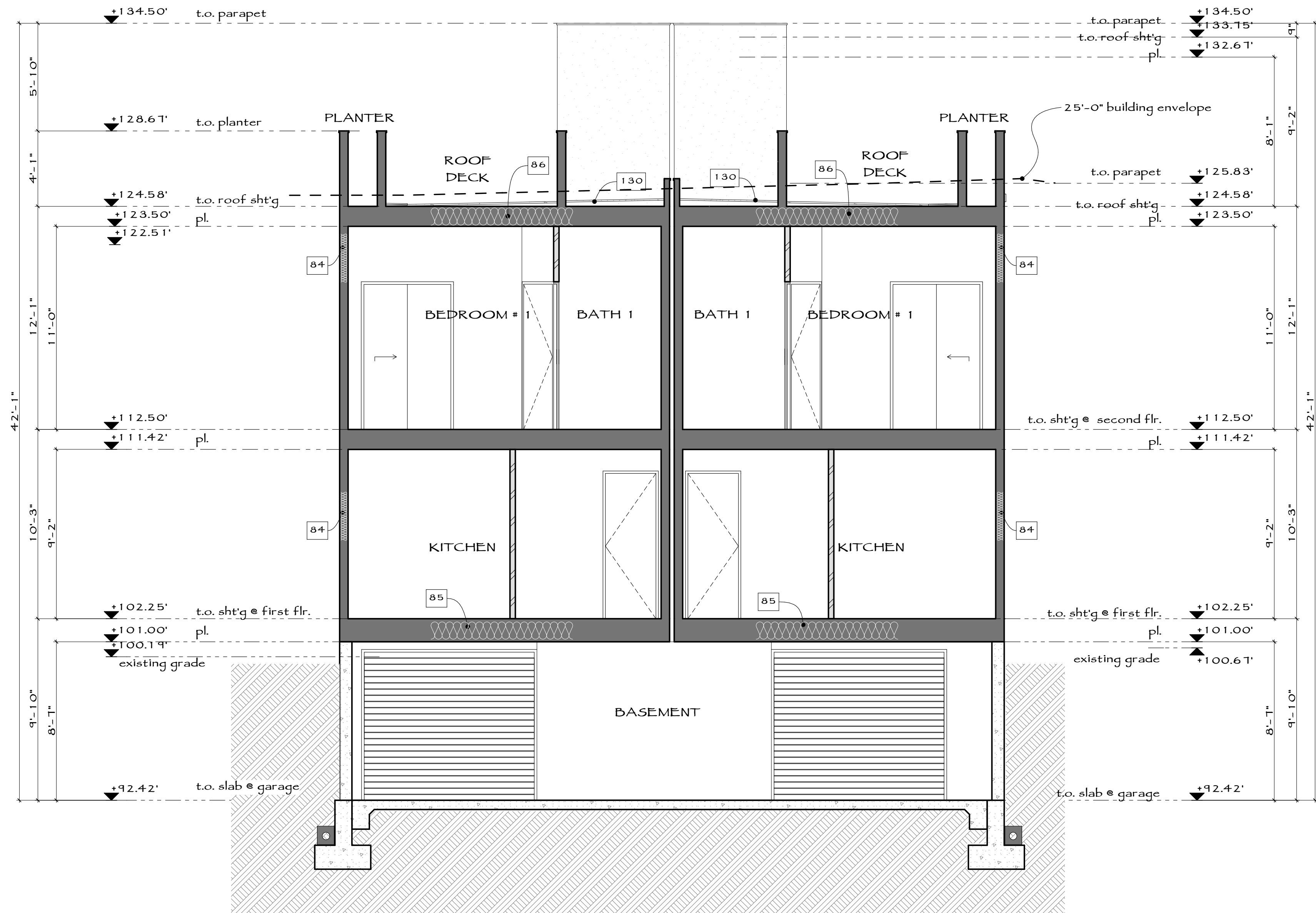
© 2010 SIA
All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.
SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

SECTION F

10/9/2014
scale:
prepared by: R.d.S
job #: 2013-184

A-3.6

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



SECTION G
1/4" = 1'-0"

Section Notes	
1	Anti-Graffiti finish on all exterior walls - Min. 9 feet high.
1.1	Attic access - 30" x 30"
2.3	Concrete column per structural
2.4	Concrete splash guard
2.6	Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
2.7	Coping - stone or precast - see details
2.9	Crawl space access - 30" x 22"
3.1	Deck slope 1/4" drop per 12" of run minimum to drain
3.2	Deck waterproofing - Dex-O-Tex - class 'A' - LAKK, #2360, ICC-ES ESR-1151
3.3	Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see #108)
3.4	Downspout
3.5	Downspout - inside wall - see plumbing code for requirements
3.6	Drain - area drain with minimum 2% slope to daylight
3.7	Drain - deck / floor - see plumbing code for requirements
3.8	Drain - roof - see plumbing code for requirements
3.9	Drain - roof - with overflow - see plumbing code for requirements
4.0	Drain - scupper drain - see plumbing code for requirements
4.1	Drain - scupper overflow - see plumbing code for requirements
4.2	Drop soffit
4.4	Drywall - 5/8" gypsum board
4.5	Drywall - 5/8" gypsum board - with skim coat and texture as specified by others
4.6	Drywall - 5/8" gypsum board top over plywood backing
4.7	Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garage, around
4.8	Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs
4.9	Drywall - 5/8" water resistant gypsum board (Green Board)
5.2	Equipment platform - see details.
5.3	Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system
5.4	Exterior plaster, 1/8" over metal lath and building paper
5.5	Fireplace - Combustion air intake
5.8	Fireplace - metal flue - prefabricated by fireplace manufacturer indicated
5.9	Fireplace - prefabricated chimney cap with spark arrestor by fireplace manufacturer indicated
6.5	Fire department connection
6.6	Fire extinguisher - verify location
6.8	Flashing - galvanized iron (GI)
6.9	Foundation screed (weep screed)
7.1	Guardrail - 42" high - ornamental iron with less than 4" openings
7.2	Guardrail - 42" high - solid
7.3	Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
7.4	Handrail - 34" minimum to 38" maximum high - wall mounted
7.5	Handrail - 36" high - ornamental iron with less than 4" openings
7.6	Handrail/guardrail - 36" high - ornamental iron with less than 4" openings
7.7	HVAC - air conditioning condenser
7.8	HVAC - combination package unit
7.9	HVAC - forced air unit (fau) - horizontal
8.0	HVAC - forced air unit (fau) - vertical
8.1	HVAC - mechanical shaft
8.2	HVAC - return air grille
8.3	HVAC - supply air grille
8.4	Insulation - wall - R-13 batt min. - see CP-1R forms for required rating
8.5	Insulation - floor - R-19 batt min. - see CP-1R forms for required rating
8.6	Insulation - roof - R-30 batt min. - see CP-1R forms for required rating
8.7	Laundry chute
8.8	Leaderhead
9.1	Low wall - see plans for height
9.9	Moulding - plaster over foam or wood shape - see details
1.00	Moulding - precast shape - see details
1.02	Occupancy separation wall - 3-Hour - see details
1.05	Opening in parapet wall for continuous water flow
1.06	Ornamental ironwork
1.08	Parapet
1.25	Raised platform - 18" high
1.26	Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier
1.27	Rat slab
1.28	Roof deck slope 3/8" drop per 12" of run minimum to drain
1.29	Roof steel access hatch - 30" x 36", Bristolite Skylights model RAH
1.30	Roofing - built-up - class 'A' - see general notes & specifications
1.31	Roof access ladder - W.I. wall mounted.
1.32	Roofing - composition shingle - class 'A' - see general notes & specifications
1.33	Roofing - tile - class 'A' - see general notes for specifications
1.34	Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details
1.35	Shower enclosure - safety glass
1.36	Shower seat - 16" high
1.37	Shower, Steam - as specified by others
1.38	Shower - tile shower with tempered glass enclosure, 30" diameter clear and 1024 sq. in. min.
1.39	Siding - Horizontal 2x6g hardwood siding (fire-treated) over building paper over Blazeguard sheathing with Pyrotite bonded to 1/2" cdx plywood by Barrier Technology Corp., ICC-ESR-1365, installed per manufacturer's instructions
1.41	Skylight - as per plan or see roof plan (for size & type) and general notes
1.43	Stucco expansion screed 5/4"
1.45	Trash chute - 2-Hour shaft w/ 90 Min. door - provide vent and fire sprinkler at top.
1.46	Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
1.47	Trellis - See plan for size, with exterior plaster over
1.48	Veneer - lightweight stone - see general notes for specifications
1.49	Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
1.50	Vent - foundation - wire mesh screen - 14" x 6"
1.51	Vent - garage - metal louvers and wire mesh screen - 14" x 6"
1.56	Wall - 2 x 4 studs - furring for plumbing
1.59	Wall - party wall - see details
1.60	Wall - masonry - see structural drawings
1.61	Wall - 1-Hour assembly
1.62	Wall - 2-Hour assembly
1.63	Wall - 3-Hour assembly
1.64	Water heater with circulating pump and seismic strap anchoring
1.65	Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report

Permit Date

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

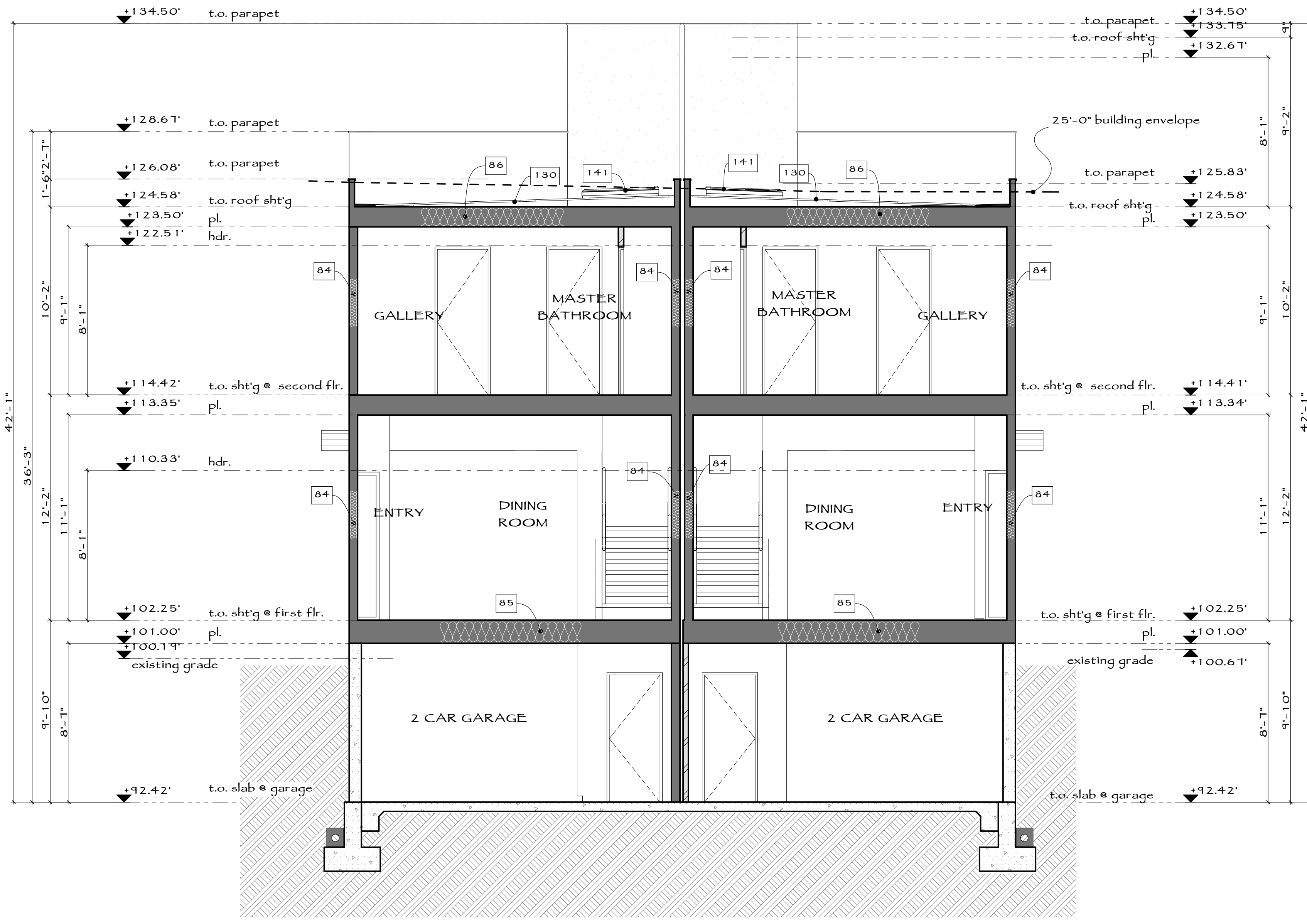
© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA. SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

SECTION G

10/9/2014
scale:
prepared by: R.d.s
job #: 2013-184

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



SECTION H
1/4" = 1'-0"

Section Notes	
1	Anti-Graffiti finish on all exterior walls - Min. 9 feet high.
1.1	Attic access - 30" x 30"
2.3	Concrete column per structural
2.4	Concrete splash guard
2.6	Coping - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
2.7	Coping - stone or precast - see details
2.9	Crawl space access - 30" x 22"
3.1	Deck slope 1/4" drop per 12" of run minimum to drain
3.2	Deck waterproofing - Dex-O-Tex - class 'A' - LAKK +2360, ICC-ES ESR-1151
3.3	Decking - 2 x 4 redwood (or equal) over redwood sleepers over built-up roofing (see +100)
3.4	Downspout
3.5	Downspout - inside wall - see plumbing code for requirements
3.6	Drain - area drain with minimum 2% slope to daylight
3.7	Drain - deck / floor - see plumbing code for requirements
3.8	Drain - roof - see plumbing code for requirements
3.9	Drain - roof - with overflow - see plumbing code for requirements
4.0	Drain - scupper drain - see plumbing code for requirements
4.1	Drain - scupper overflow - see plumbing code for requirements
4.2	Drop soffit
4.4	Drywall - 5/8" gypsum board
4.5	Drywall - 5/8" gypsum board - with skim coat and texture as specified by others
4.6	Drywall - 5/8" gypsum board top over plywood backing
4.7	Drywall - 5/8" type 'X' gypsum board at walls and ceiling throughout garage, around
4.8	Drywall - 5/8" type 'X' gypsum board at walls and ceiling of useable space & under stairs
4.9	Drywall - 5/8" water resistant gypsum board (Green Board)
5.2	Equipment platform - see details.
5.3	Exterior plaster top slope 3/8" drop per 12" minimum over bituthene waterproofing system
5.4	Exterior plaster, 1/8" over metal lath and building paper
5.5	Fireplace - Combustion air intake
5.8	Fireplace - metal flue - prefabricated by fireplace manufacturer indicated
5.9	Fireplace - prefabricated chimney cap with spark arrestor by fireplace manufacturer indicated
6.5	Fire department connection
6.6	Fire extinguisher - verify location
6.8	Flashing - galvanized iron (GI)
6.9	Foundation screed (weep screed)
7.1	Guardrail - 42" high - ornamental iron with less than 4" openings
7.2	Guardrail - 42" high - solid
7.3	Gutter - 26 ga. galvanized iron (GI) or 16 oz. copper per plans
7.4	Handrail - 34" minimum to 38" maximum high - wall mounted
7.5	Handrail - 36" high - ornamental iron with less than 4" openings
7.6	Handrail/guardrail - 36" high - ornamental iron with less than 4" openings
7.7	HVAC - air conditioning condenser
7.8	HVAC - combination package unit
7.9	HVAC - forced air unit (fau) - horizontal
8.0	HVAC - forced air unit (fau) - vertical
8.1	HVAC - mechanical shaft
8.2	HVAC - return air grille
8.3	HVAC - supply air grille
8.4	Insulation - wall - R-13 batt min. - see CP-1R forms for required rating
8.5	Insulation - floor - R-19 batt min. - see CP-1R forms for required rating
8.6	Insulation - roof - R-30 batt min. - see CP-1R forms for required rating
8.7	Laundry chute
8.8	Leaderhead
9.1	Low wall - see plans for height
9.9	Moulding - plaster over foam or wood shape - see details
1.00	Moulding - precast shape - see details
1.02	Occupancy separation wall - 3-Hour - see details
1.05	Opening in parapet wall for continuous water flow
1.06	Ornamental ironwork
1.08	Parapet
1.25	Raised platform - 18" high
1.26	Raised platform - 18" high - with 3" diameter x 36" high pipe column barrier
1.2.1	Rat slab
1.2.8	Roof deck slope 3/8" drop per 12" of run minimum to drain
1.2.9	Roof steel access hatch - 30" x 36", Bristolite Skylights model RAH
1.3.0	Roofing - built-up - class 'A' - see general notes & specifications
1.3.1	Roof access ladder - W.I. wall mounted.
1.3.2	Roofing - composition shingle - class 'A' - see general notes & specifications
1.3.3	Roofing - tile - class 'A' - see general notes for specifications
1.3.4	Roofing - 2-Hour area separation wall below - No penetrations 5 feet each side - see details
1.3.5	Shower enclosure - safety glass
1.3.6	Shower seat - 16" high
1.3.7	Shower, Steam - as specified by others
1.3.8	Shower - tile shower with tempered glass enclosure, 30" diameter clear and 1024 sq. in. min.
1.3.9	Siding - Horizontal 2x6 hardwood siding (fire-treated) over building paper over Blazeguard sheathing with Pyrotite bonded to 1/2" cdx plywood by Barrier Technology Corp., ICC-ESR-1365, installed per manufacturer's instructions
1.4.1	Skylight - as per plan or see roof plan (for size & type) and general notes
1.4.3	Stucco expansion screed 5/4"
1.4.5	Trash chute - 2-Hour shaft W/ 90 Min. door - provide vent and fire sprinkler at top.
1.4.6	Tile or stone pavers over tile adhesive over underlayment - class 'A' rated - see general notes
1.4.7	Trellis - See plan for size, with exterior plaster over
1.4.8	Veneer - lightweight stone - see general notes for specifications
1.4.9	Vent - attic - metal louvers and wire mesh screen - see elevations and or roof plan for sizes and type
1.5.0	Vent - foundation - wire mesh screen - 14" x 6"
1.5.1	Vent - garage - metal louvers and wire mesh screen - 14" x 6"
1.5.6	Wall - 2 x 4 studs - furring for plumbing
1.5.9	Wall - party wall - see details
1.6.0	Wall - masonry - see structural drawings
1.6.1	Wall - 1-Hour assembly
1.6.2	Wall - 2-Hour assembly
1.6.3	Wall - 3-Hour assembly
1.6.4	Water heater with circulating pump and seismic strap anchoring
1.6.5	Waterproofing with perforated drain in 12" wide gravel fill in accordance with the geology report

Permit Date

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA. SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

SECTION H

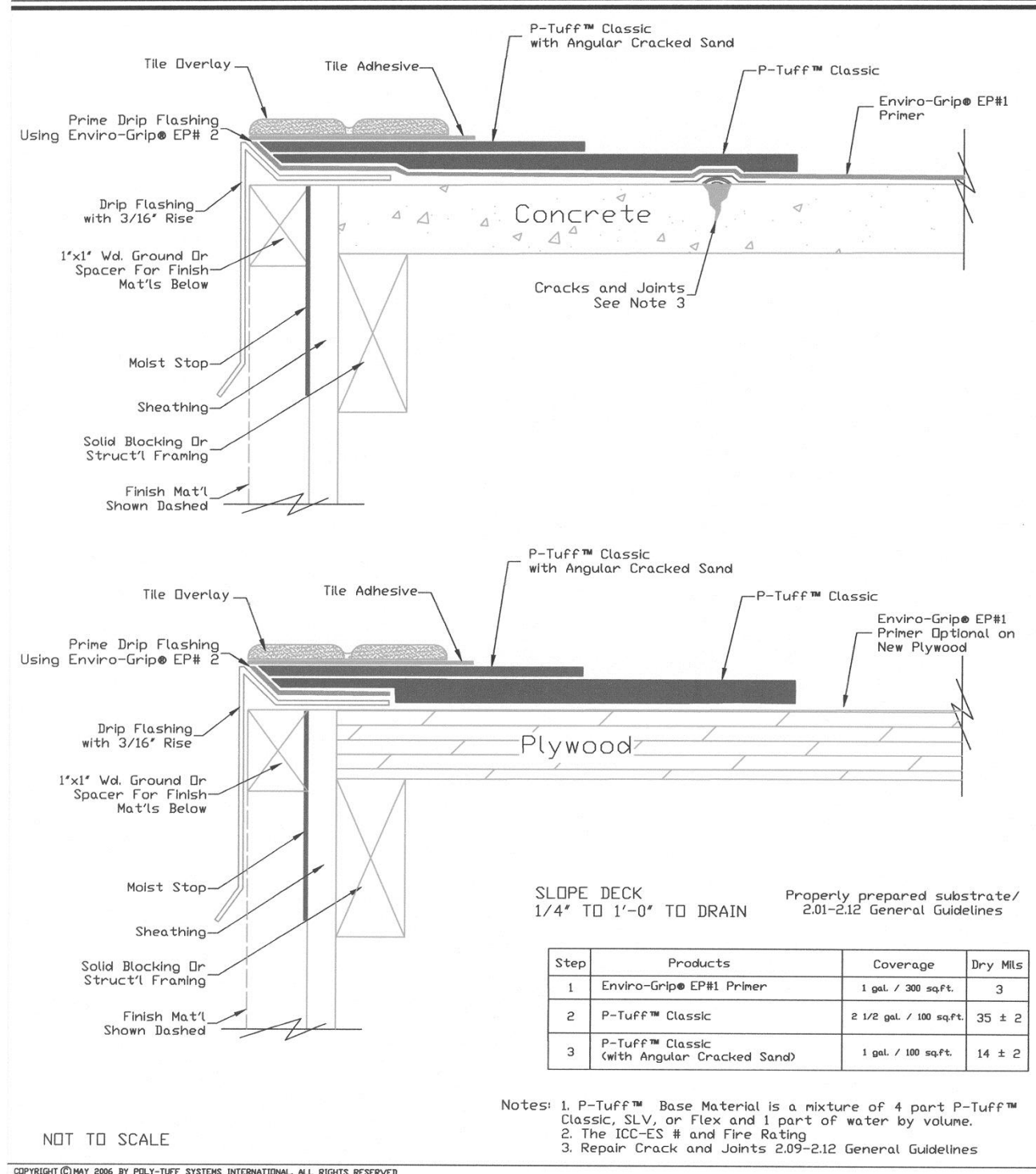
10/9/2014

scale:

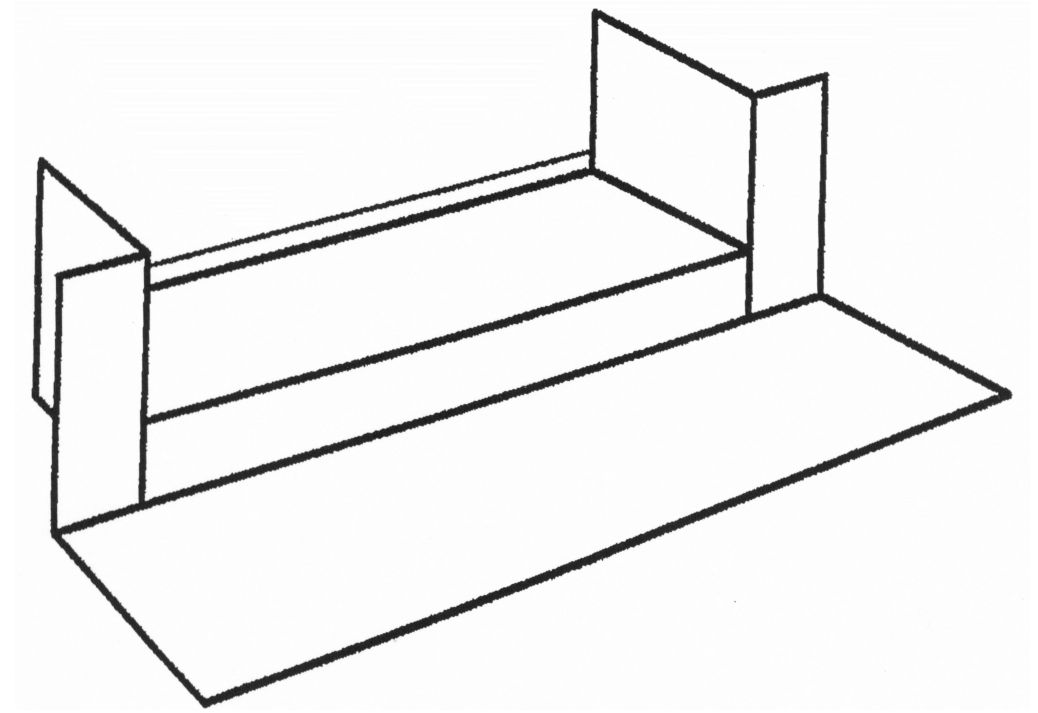
prepared by: R.d.S

job #: 2013-184

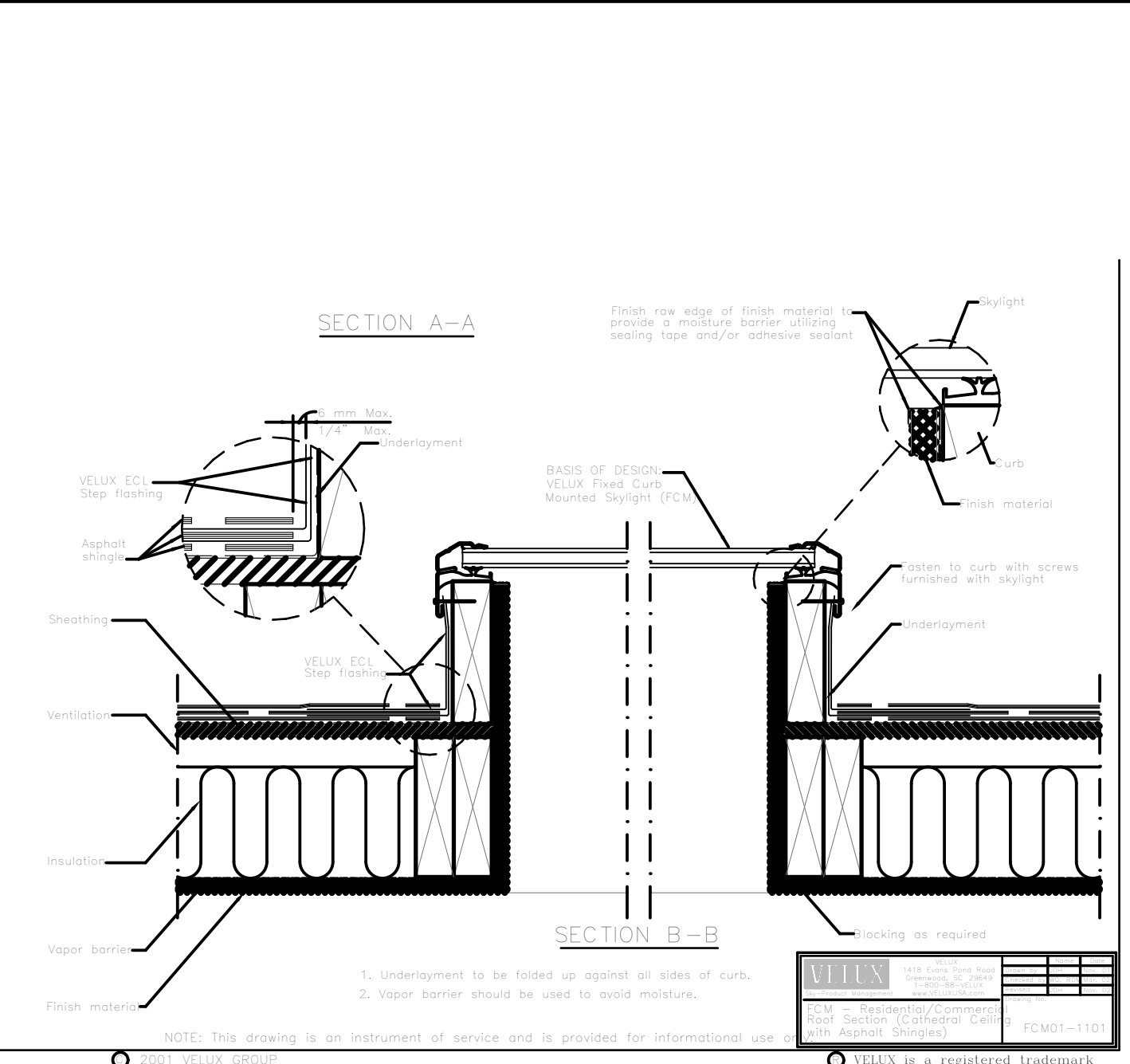
A-3.8



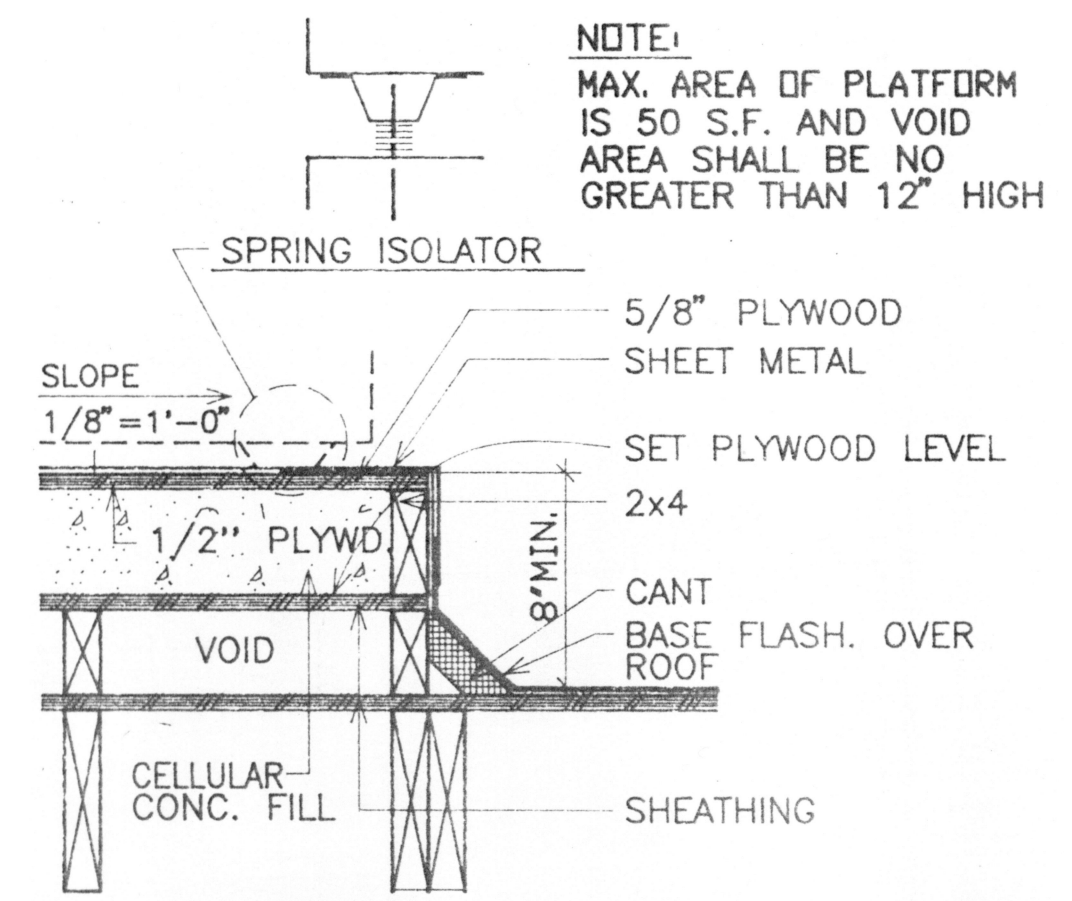
Deck Waterproofing - Typical N.T.S. 10



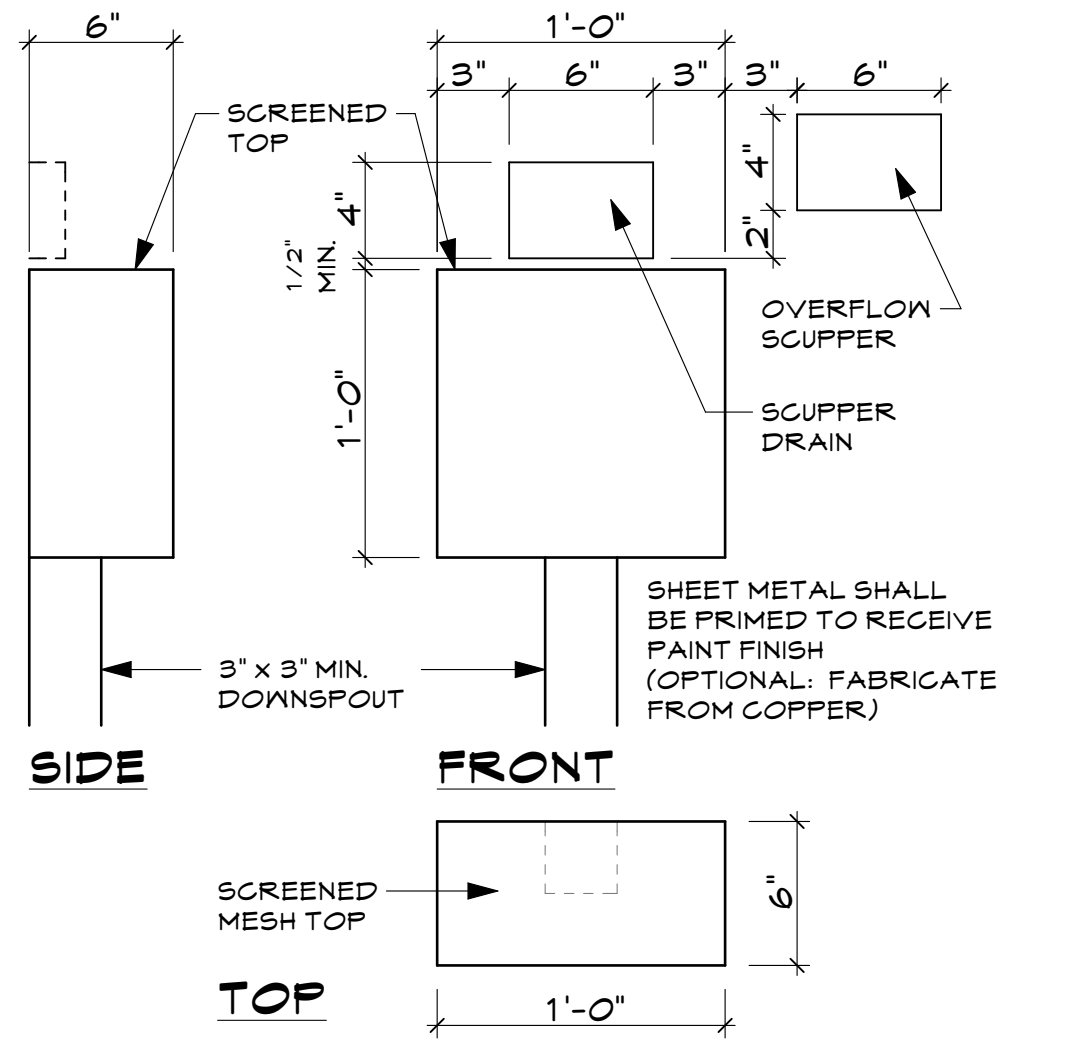
Sill Pan - Typical N.T.S. 11



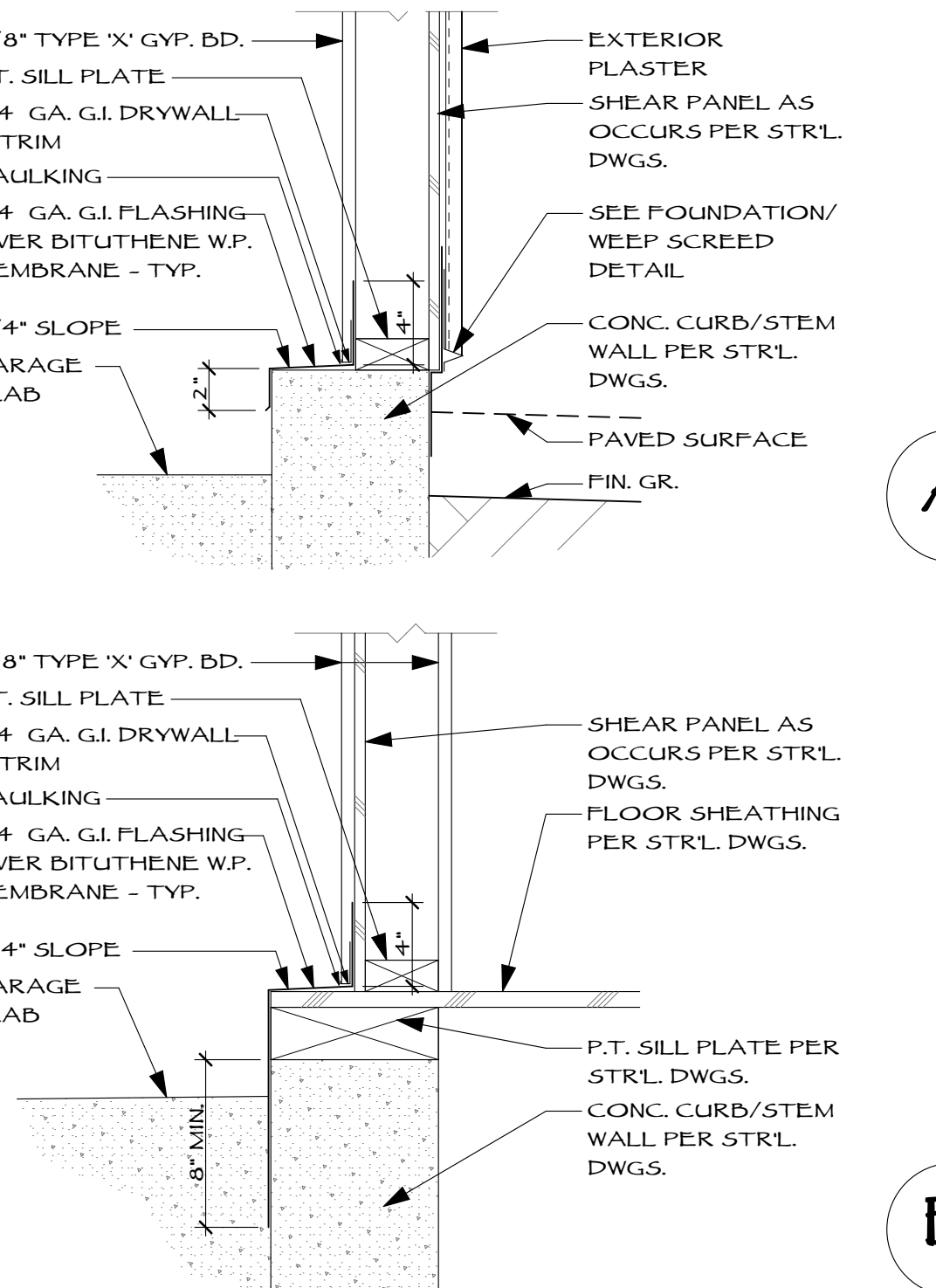
Skylight - Typical N.T.S. 12



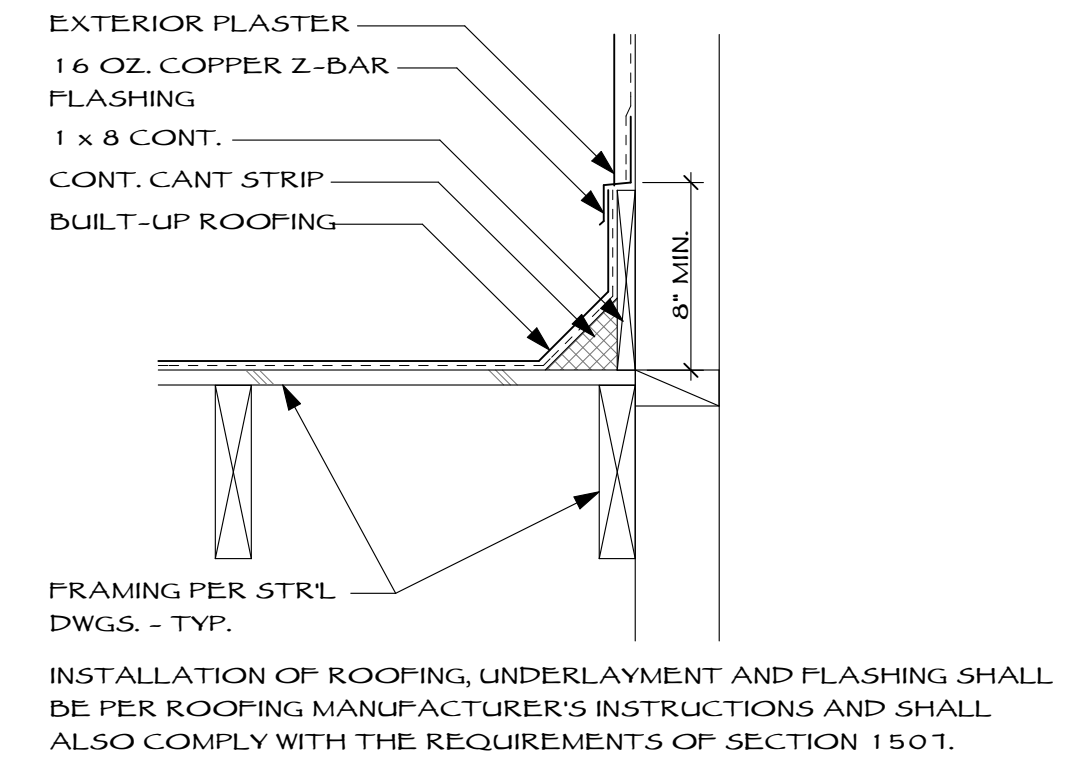
Equipment Pad - Typical N.T.S. 1



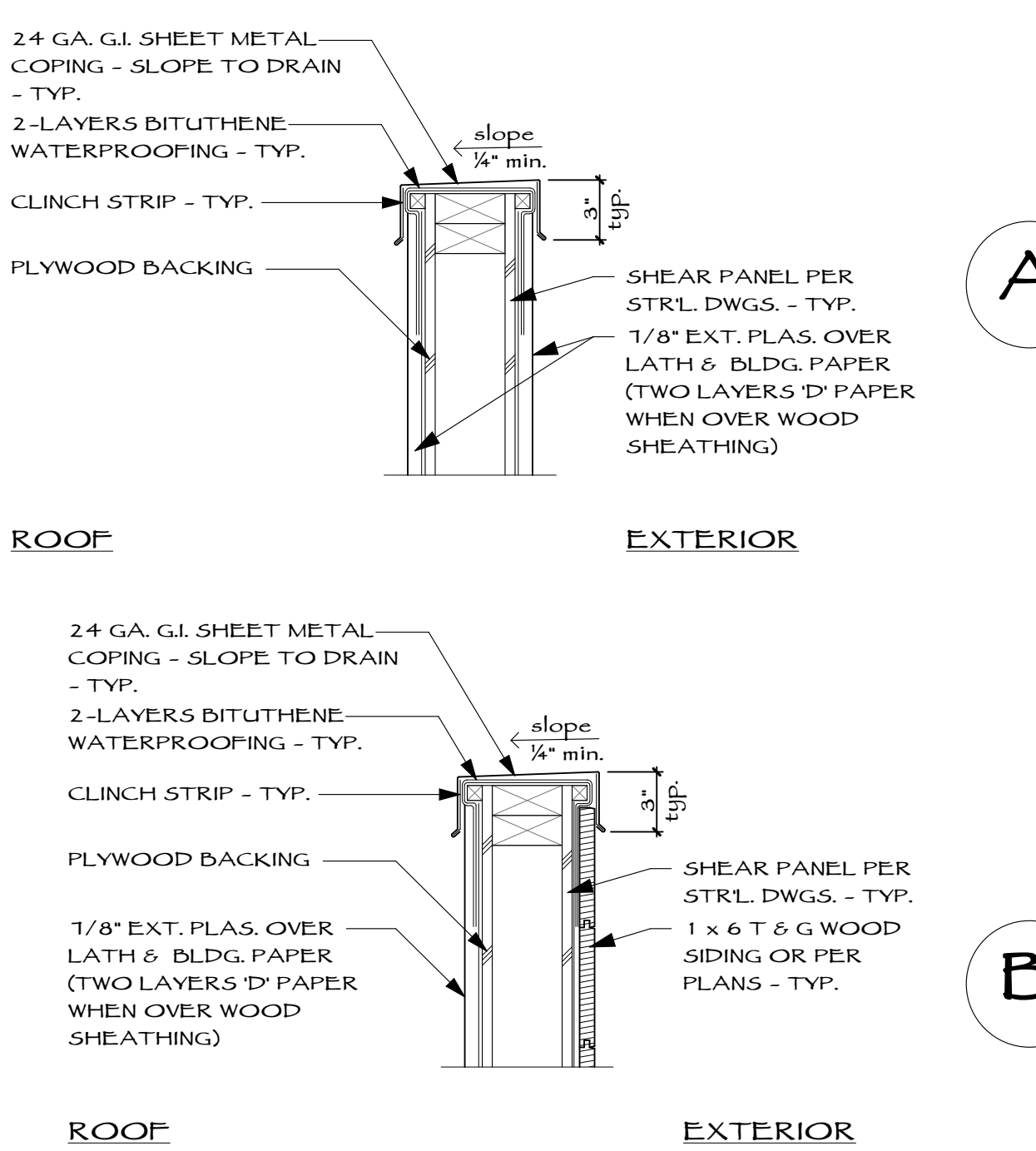
Leaderhead - Typical 1 1/2" = 1'-0" 8



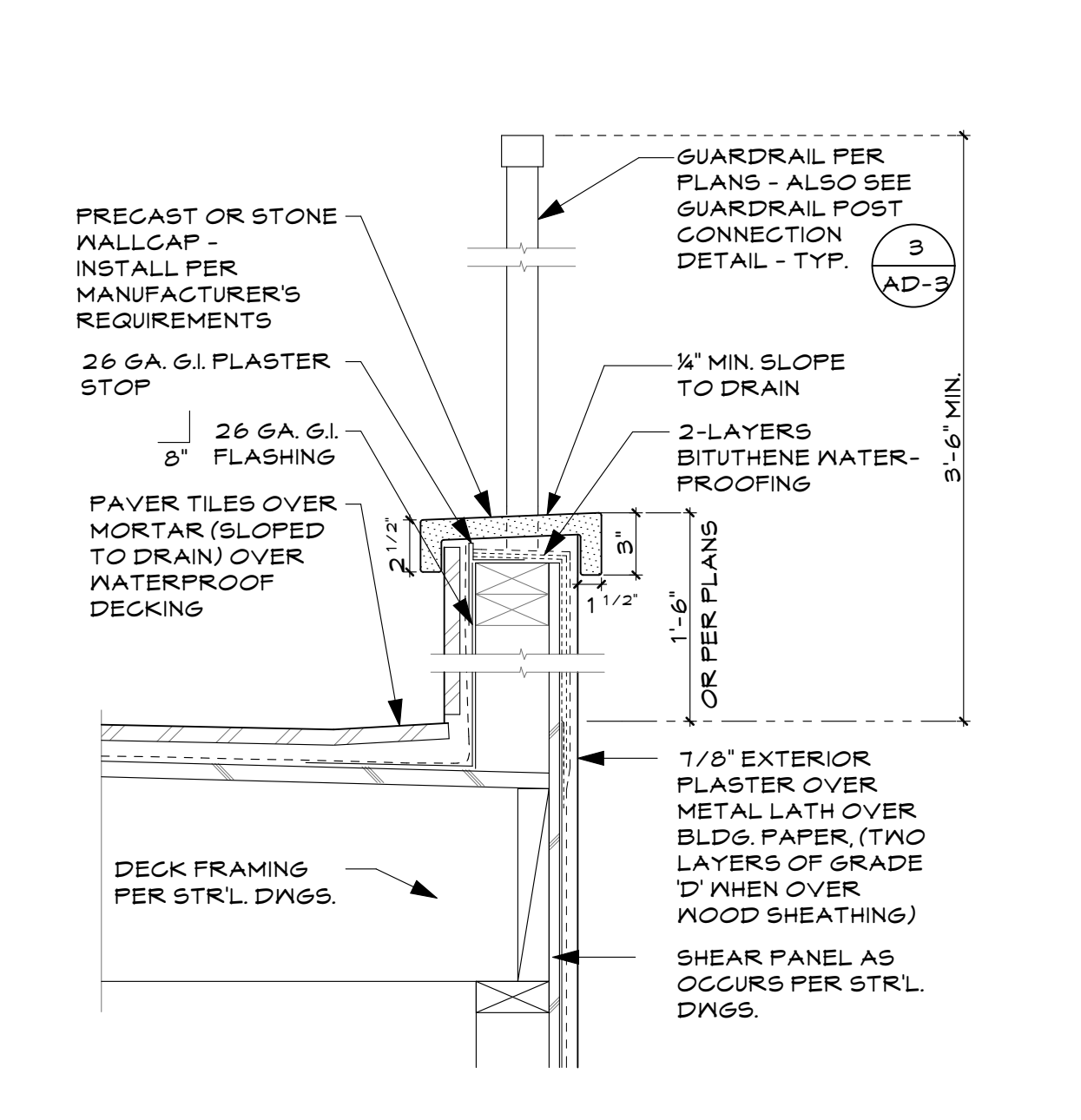
Garage Curb / Wall Flashing - Typical 1 1/2" = 1'-0" 9



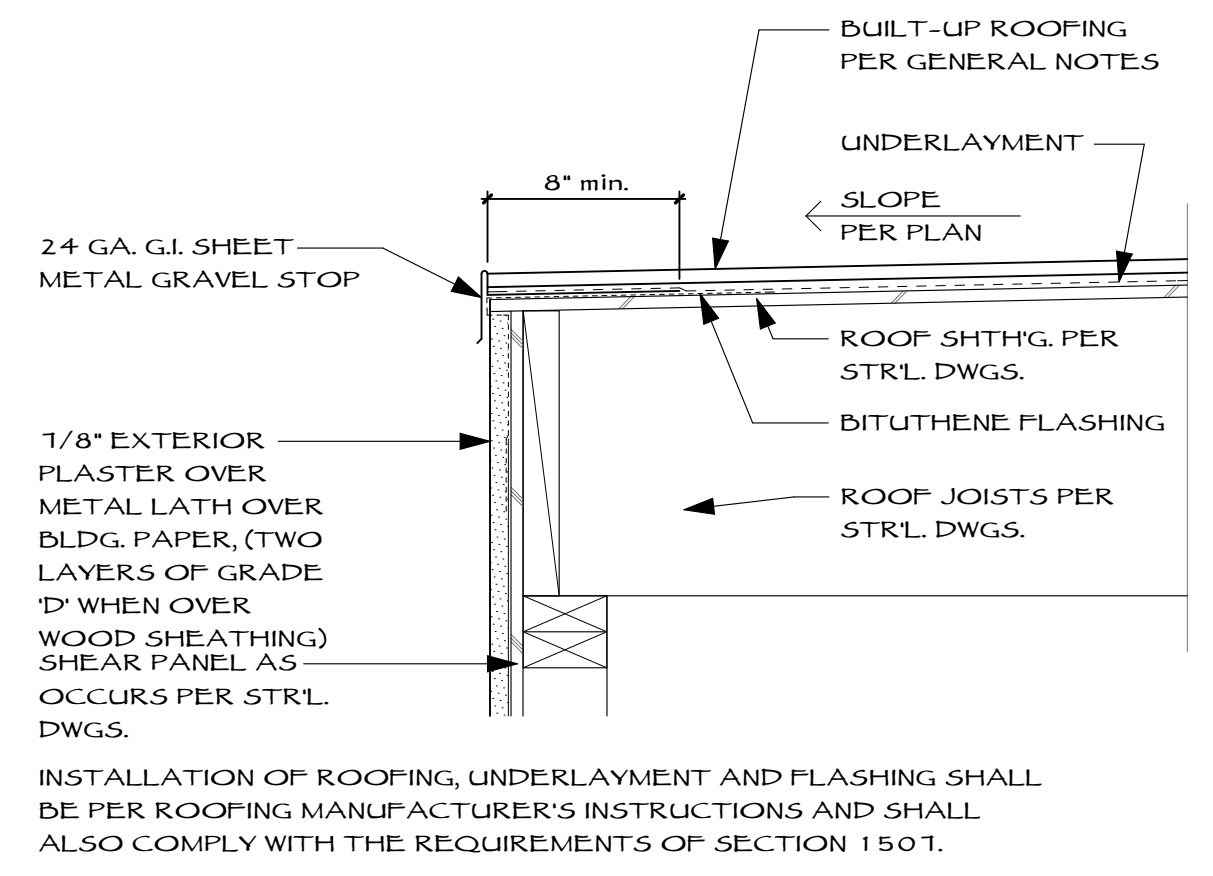
Cant Strip - Typical 1 1/2" = 1'-0" 4



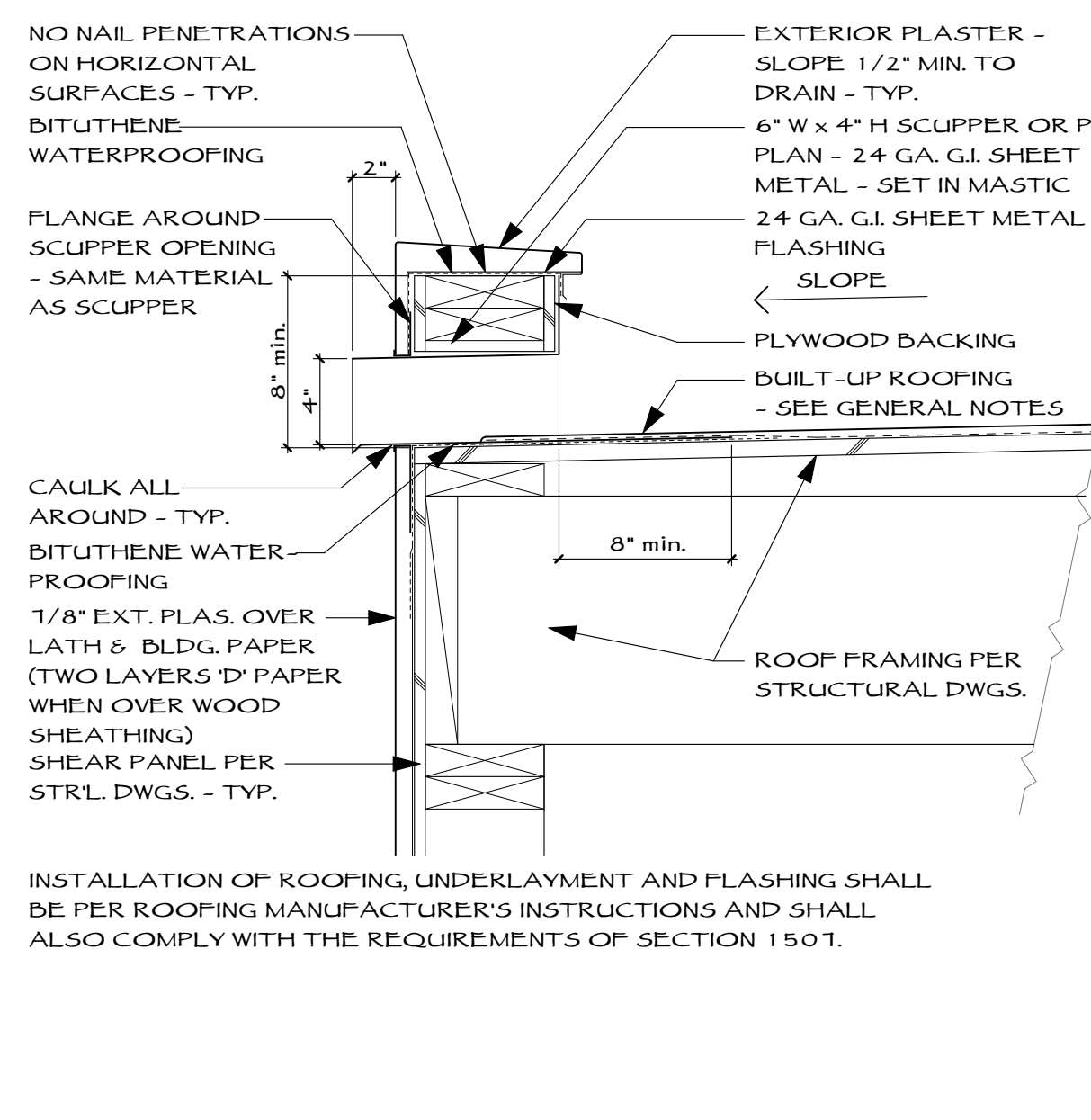
Parapet Coping - Typical 1 1/2" = 1'-0" 5



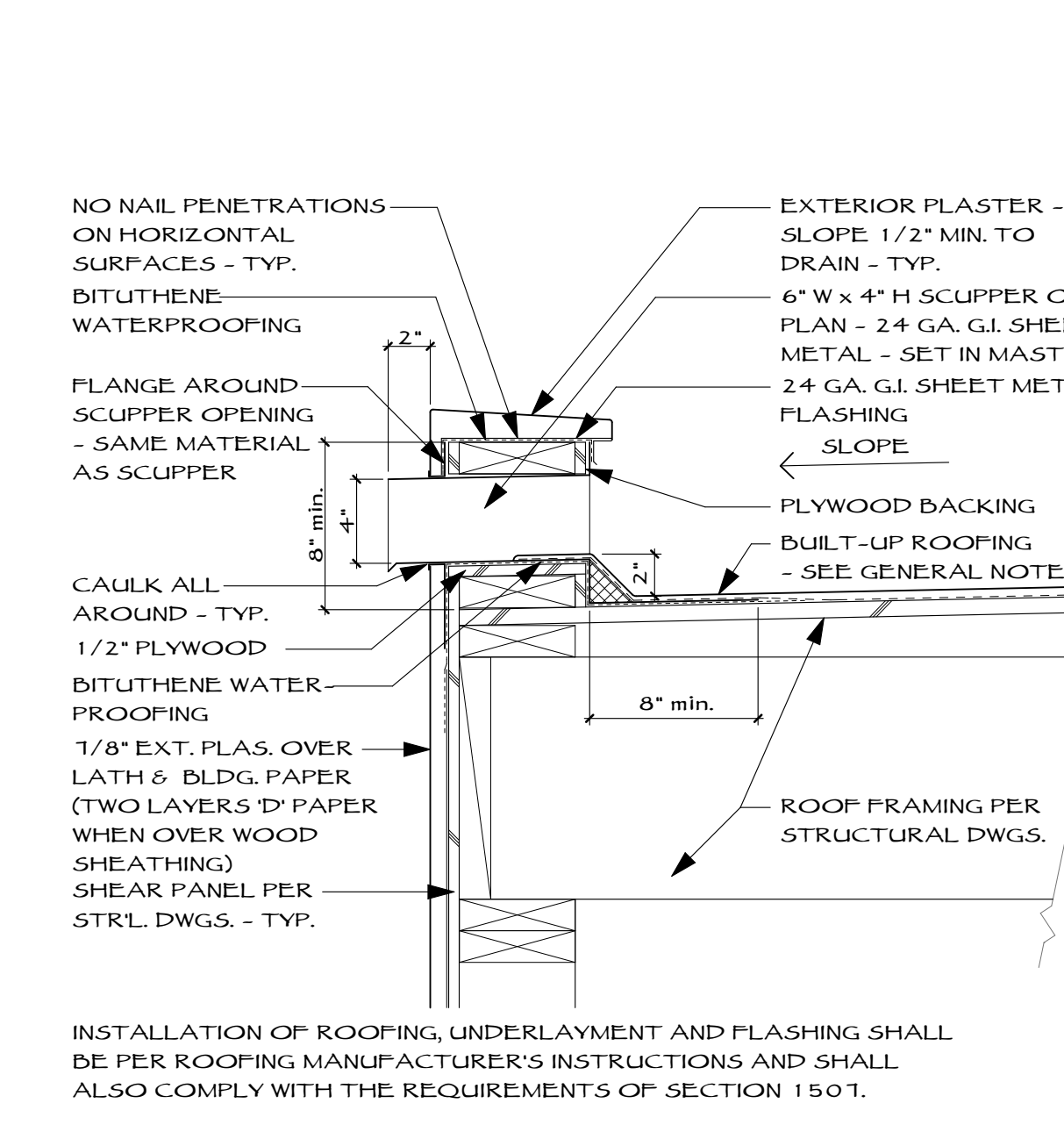
Deck @ Curb 1 1/2" = 1'-0" 6



Gravel Stop - Typical 1 1/2" = 1'-0" 1



Scupper Drain - Typical 1 1/2" = 1'-0" 2



Scupper Overflow - Typical 1 1/2" = 1'-0" 3

Permit Date
 Project
HUNTLEY APARTMENTS
 723 Huntley Drive,
 West Hollywood, CA 90069
 Owner
 Farid & Marjan Mir
 8885 Venice Blvd. # 200
 Los Angeles, CA 90034

SIA
 architectural
 design
 20230 Wells Drive
 Woodland Hills, CA
 91364
 t: 818-704-0667
 f: 818-704-0760
 www.siaarchdesign.com

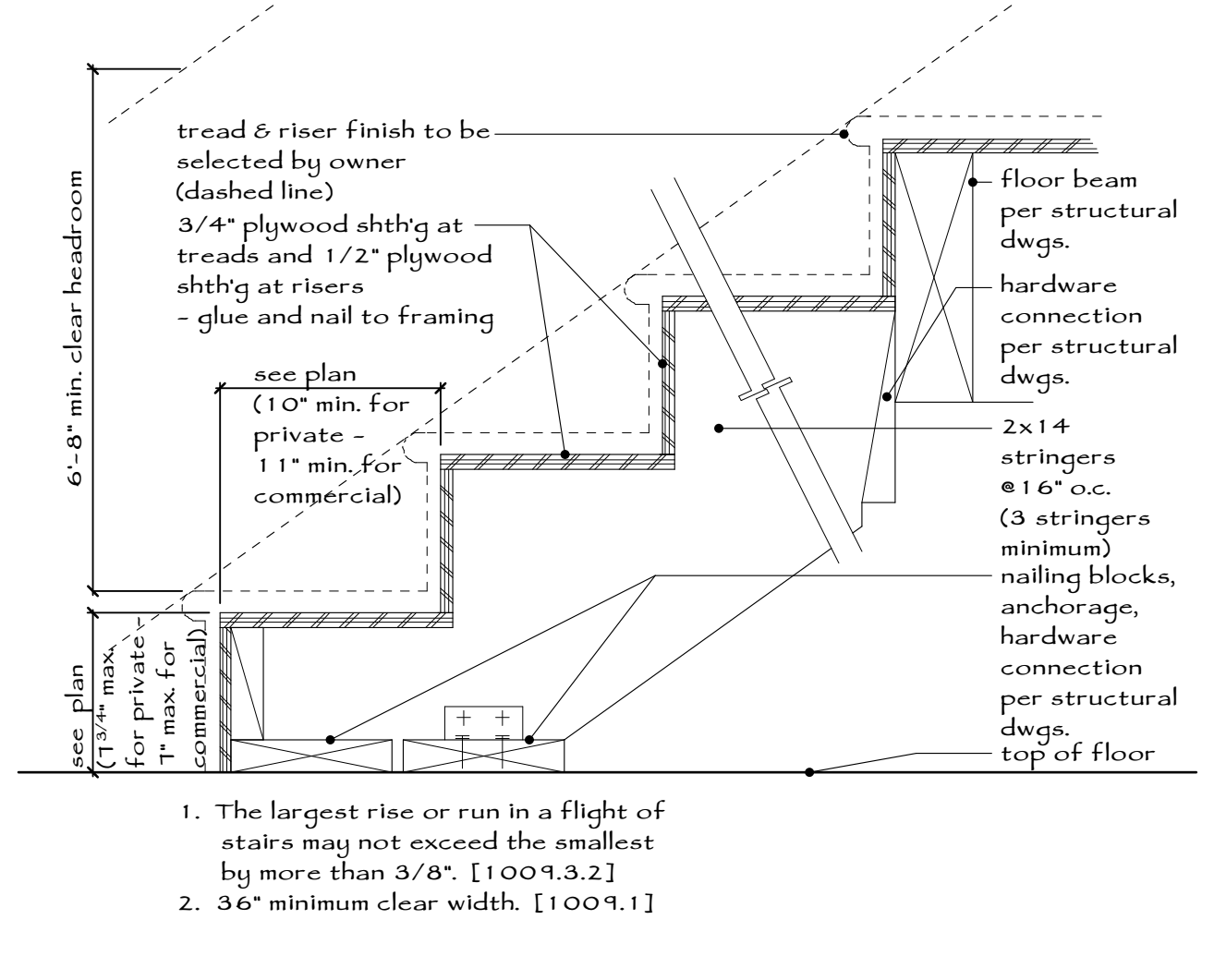
© 2010 SIA
 All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.
 SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

ARCHITECTURAL DETAILS
 10/9/2014
 scale:
 prepared by: R.d.S
 job #: 2013-184

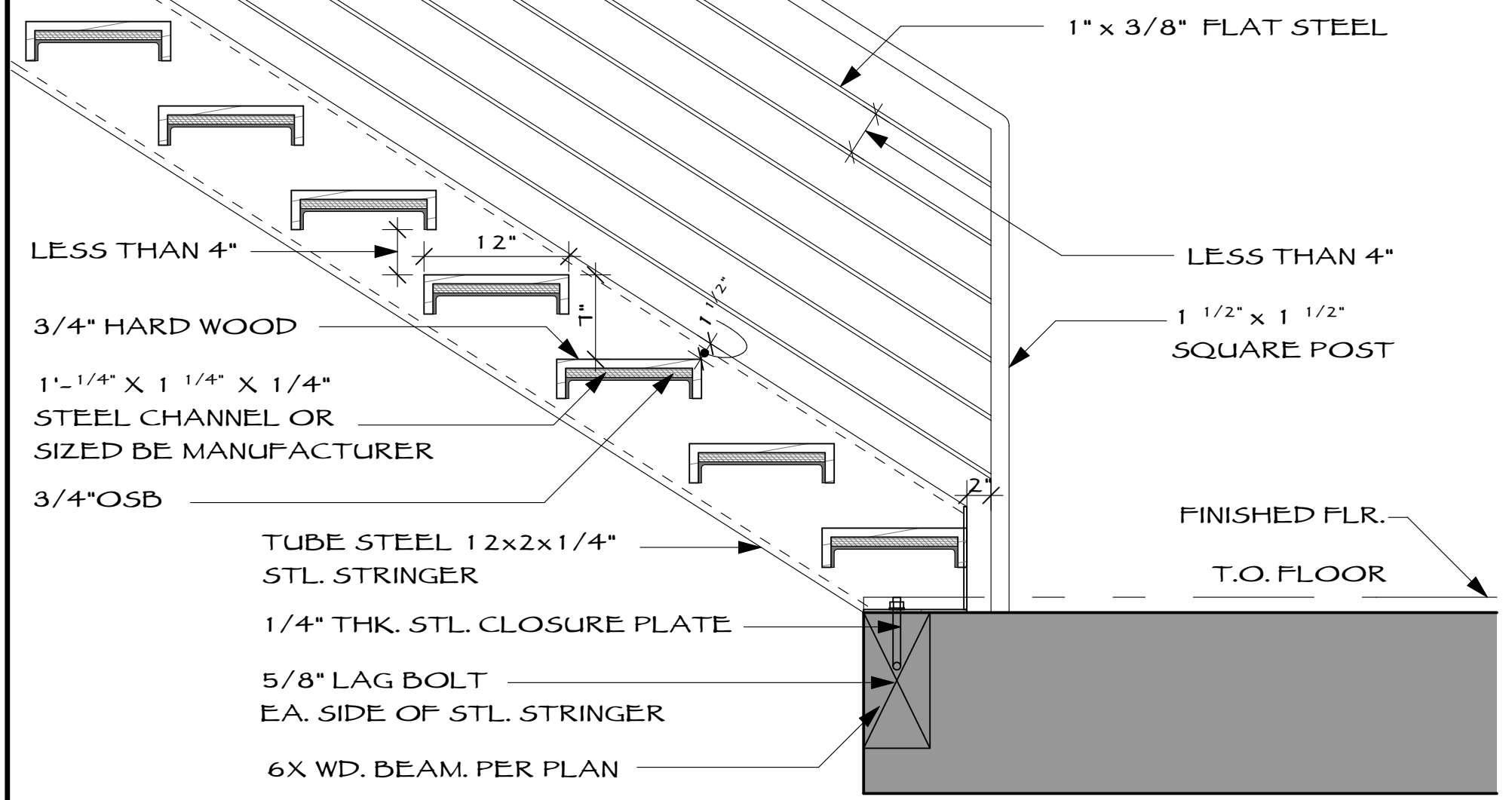
AD-1

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.

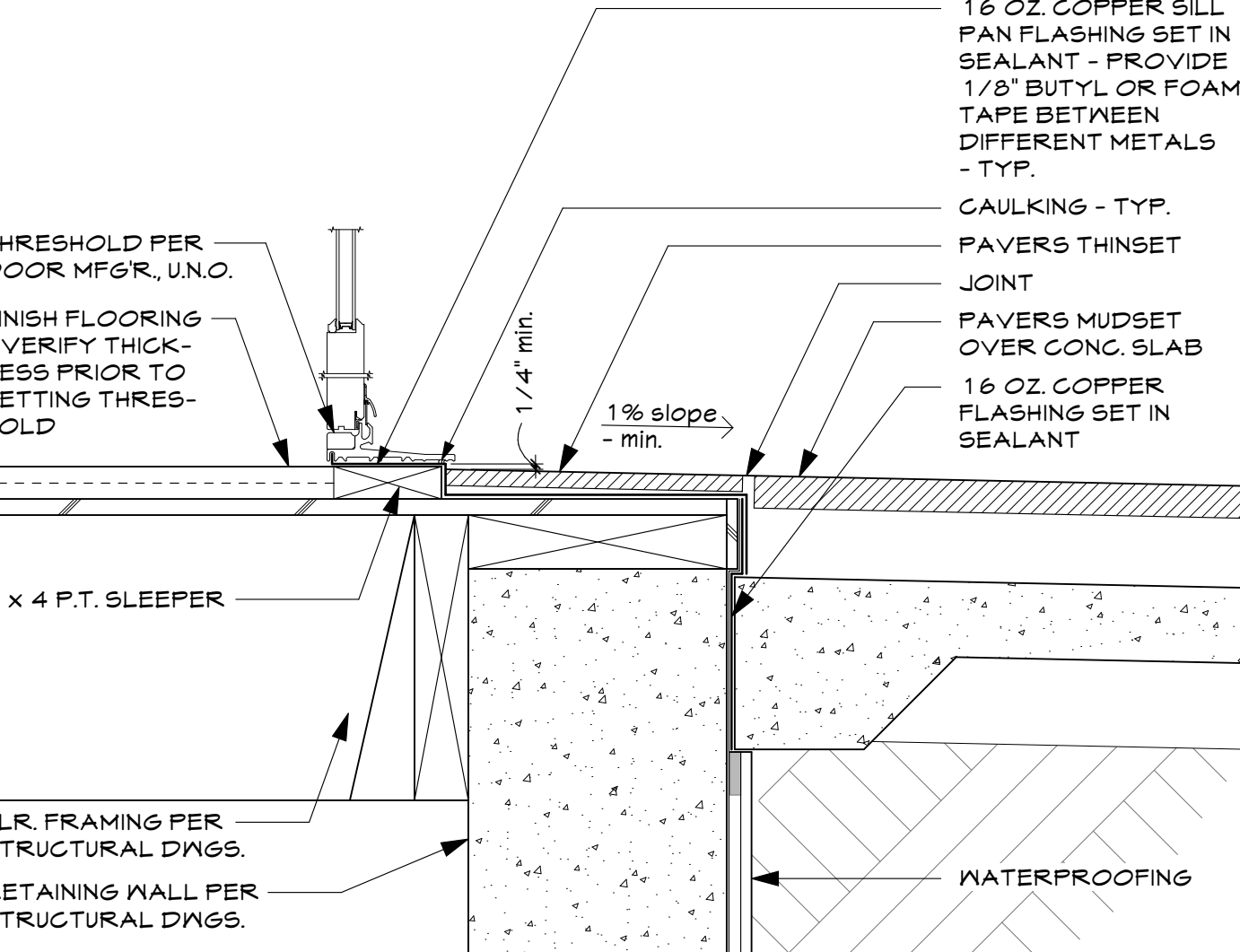
NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



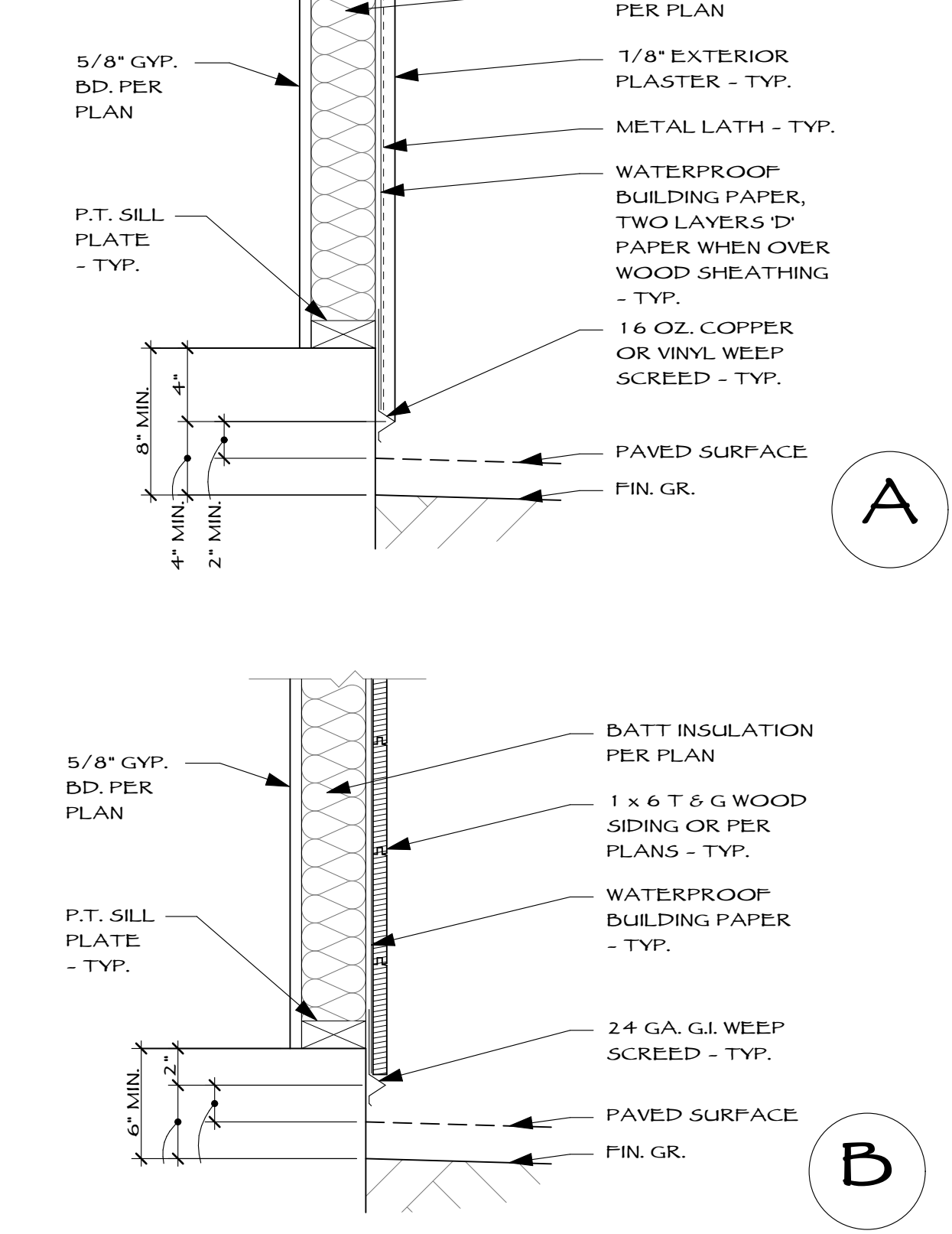
Stair Clearances - Typical 1 1/2" = 1'-0" 10



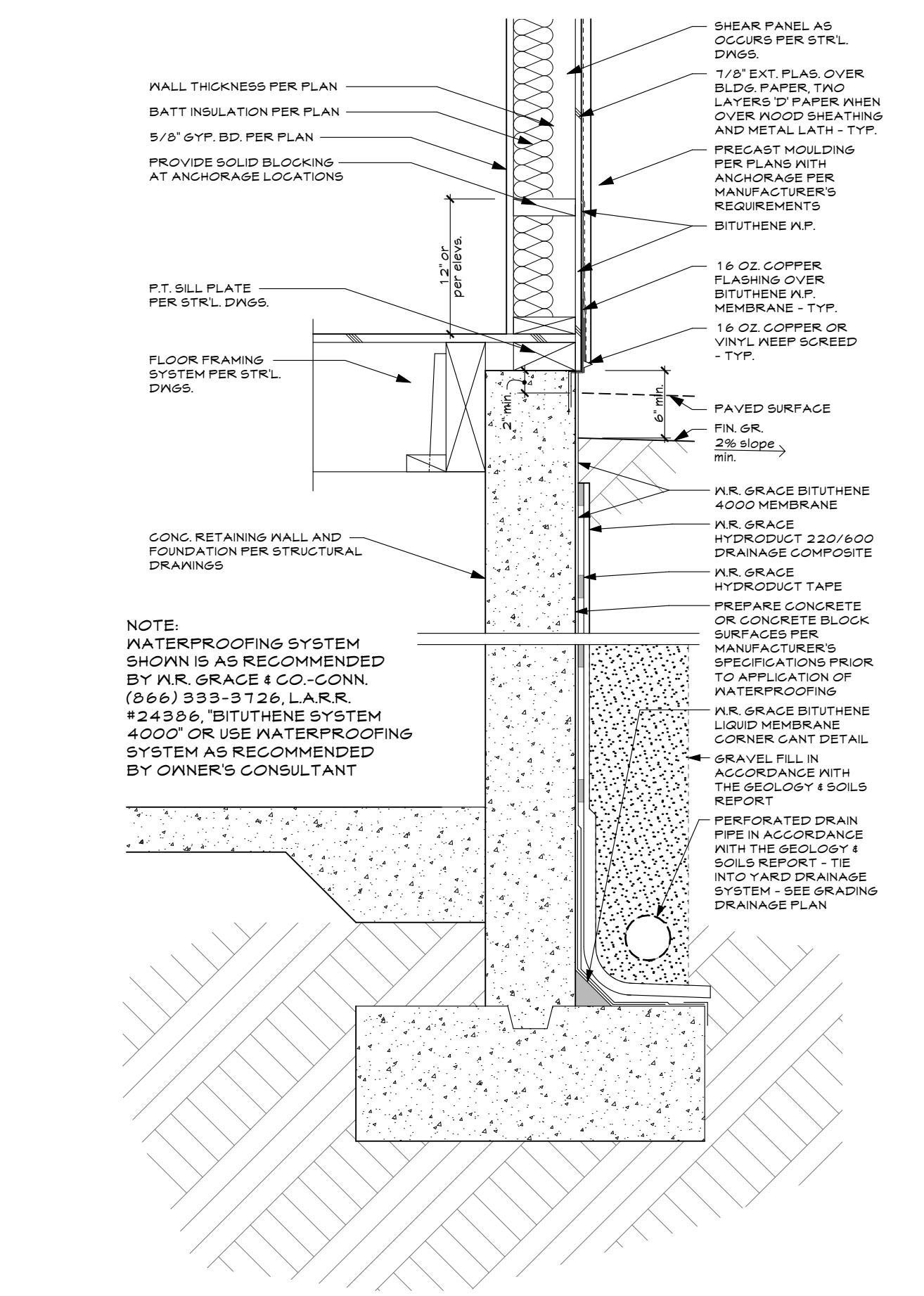
Stairs - Typical 1" = 1'-0" 7



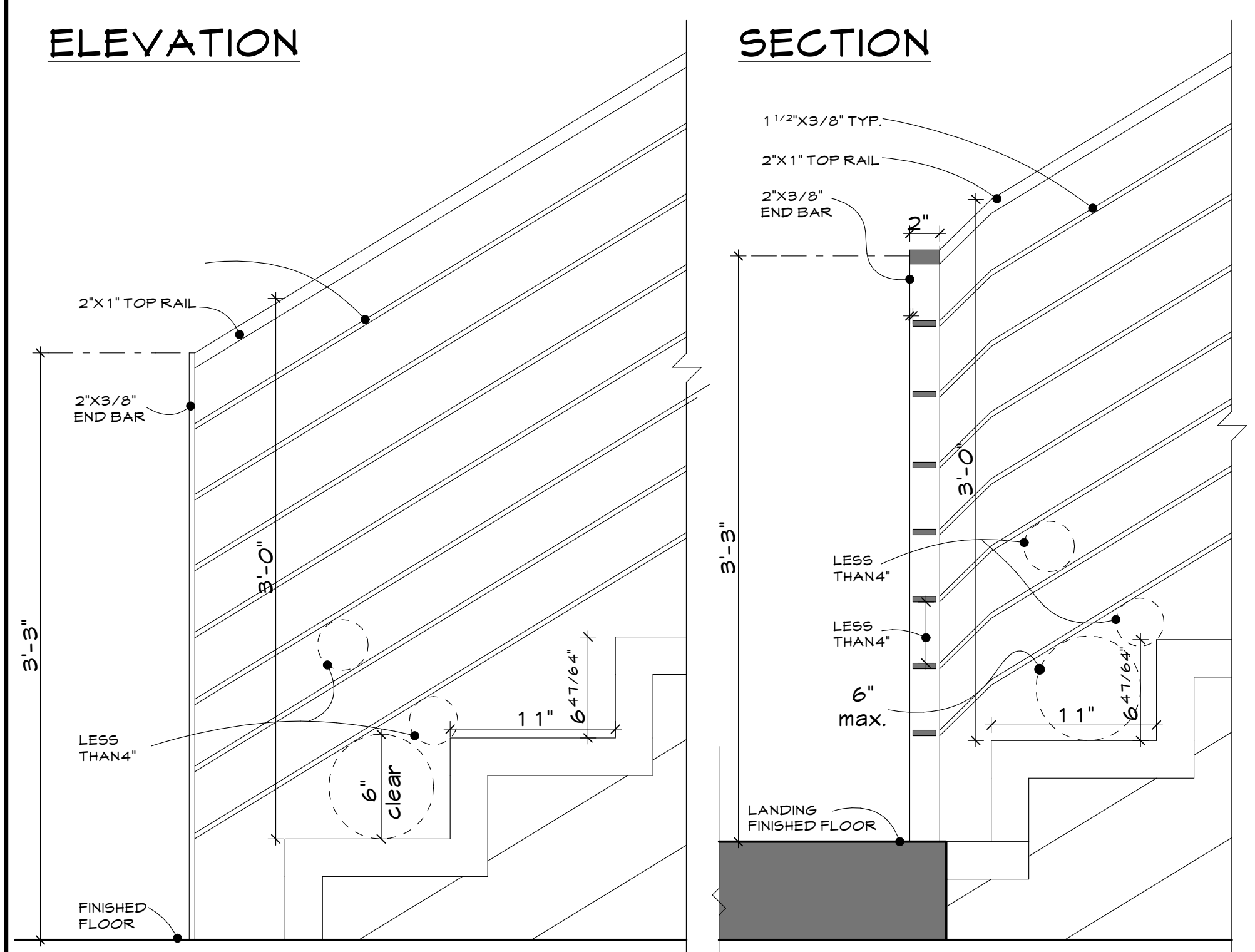
Threshold On Slab - Typical 1 1/2" = 1'-0" 4



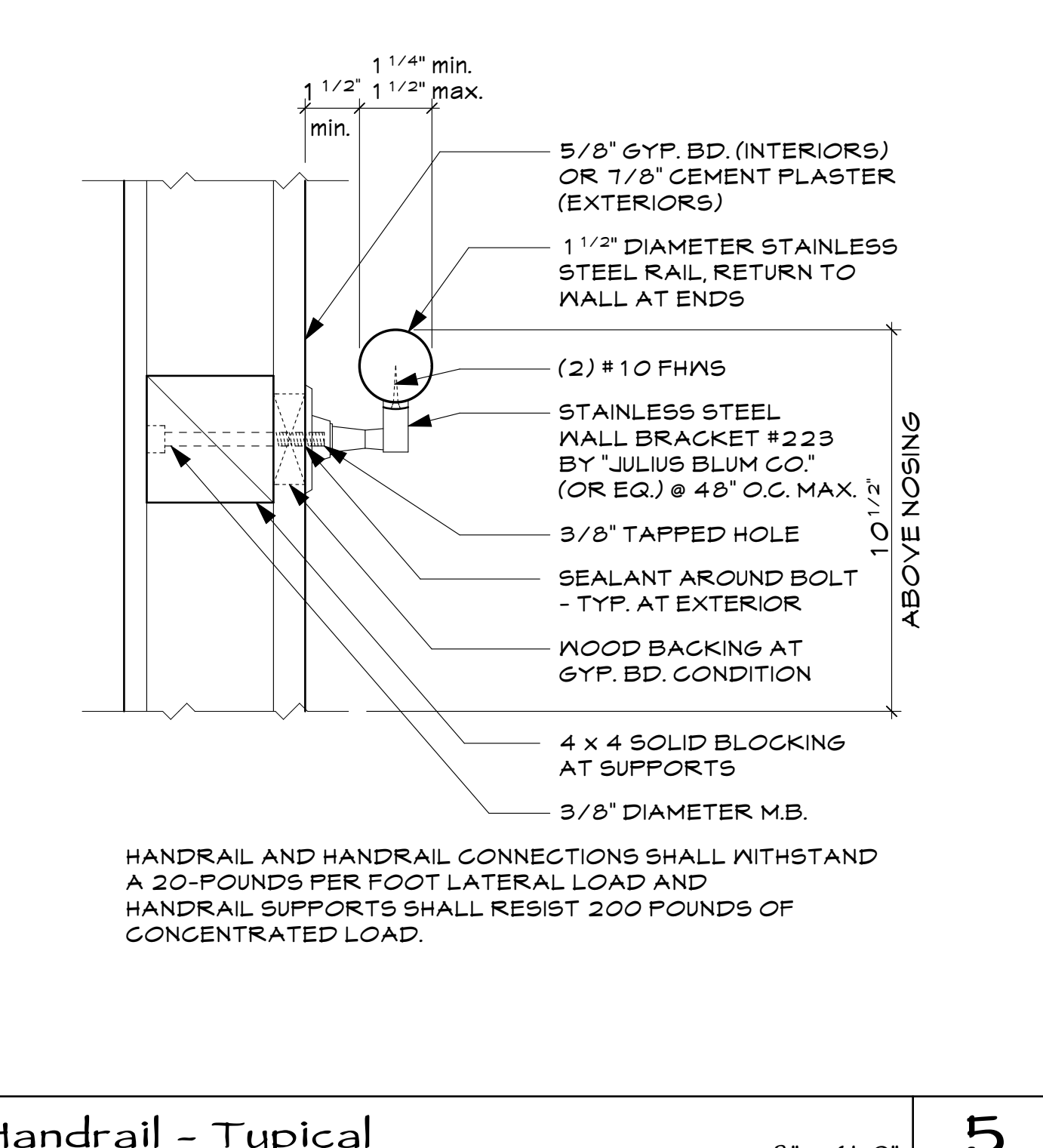
Foundation Screenshot - Typical 1 1/2" = 1'-0" 1



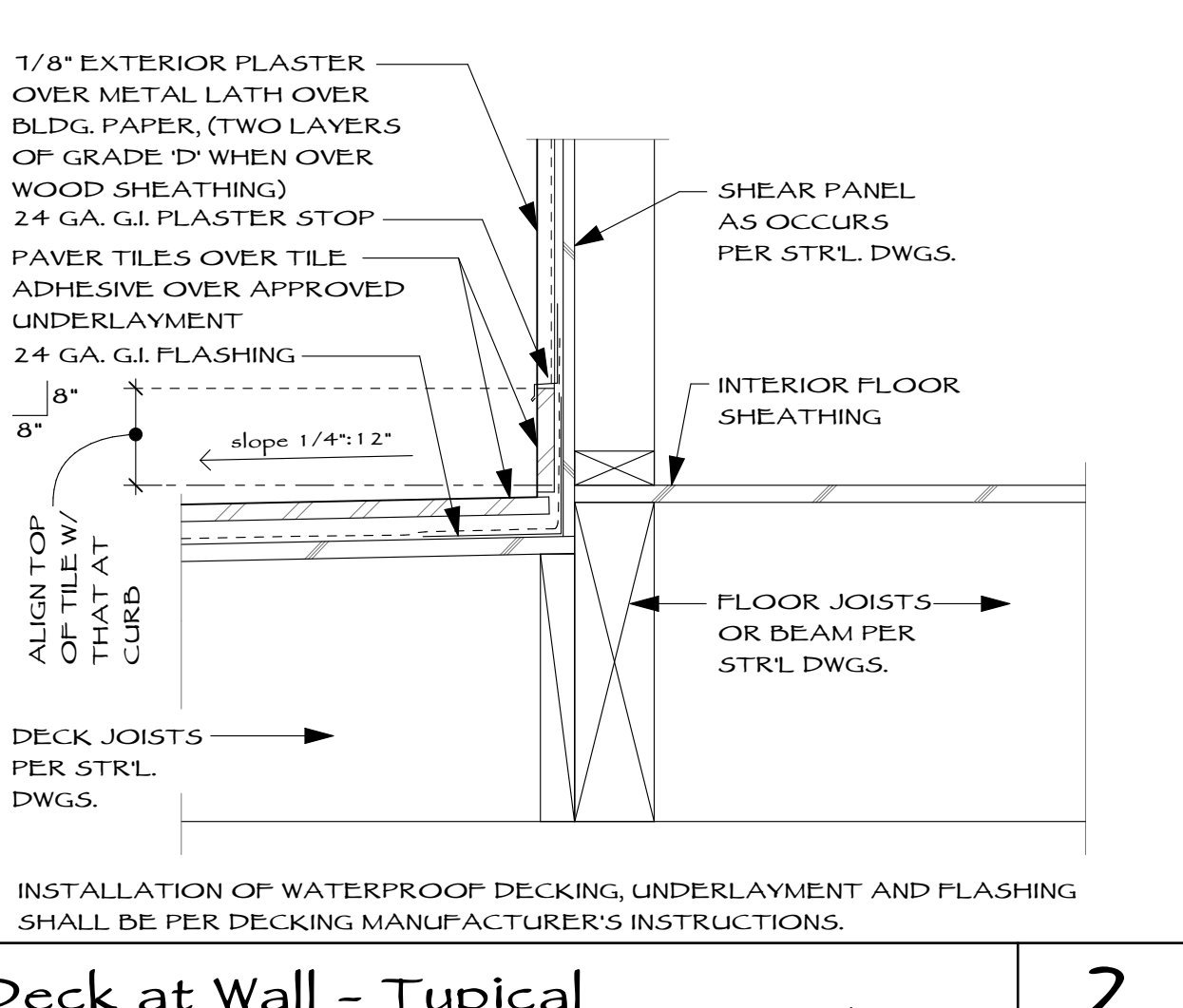
Retaining Wall Waterproofing - Typ. 1" = 1'-0" 11



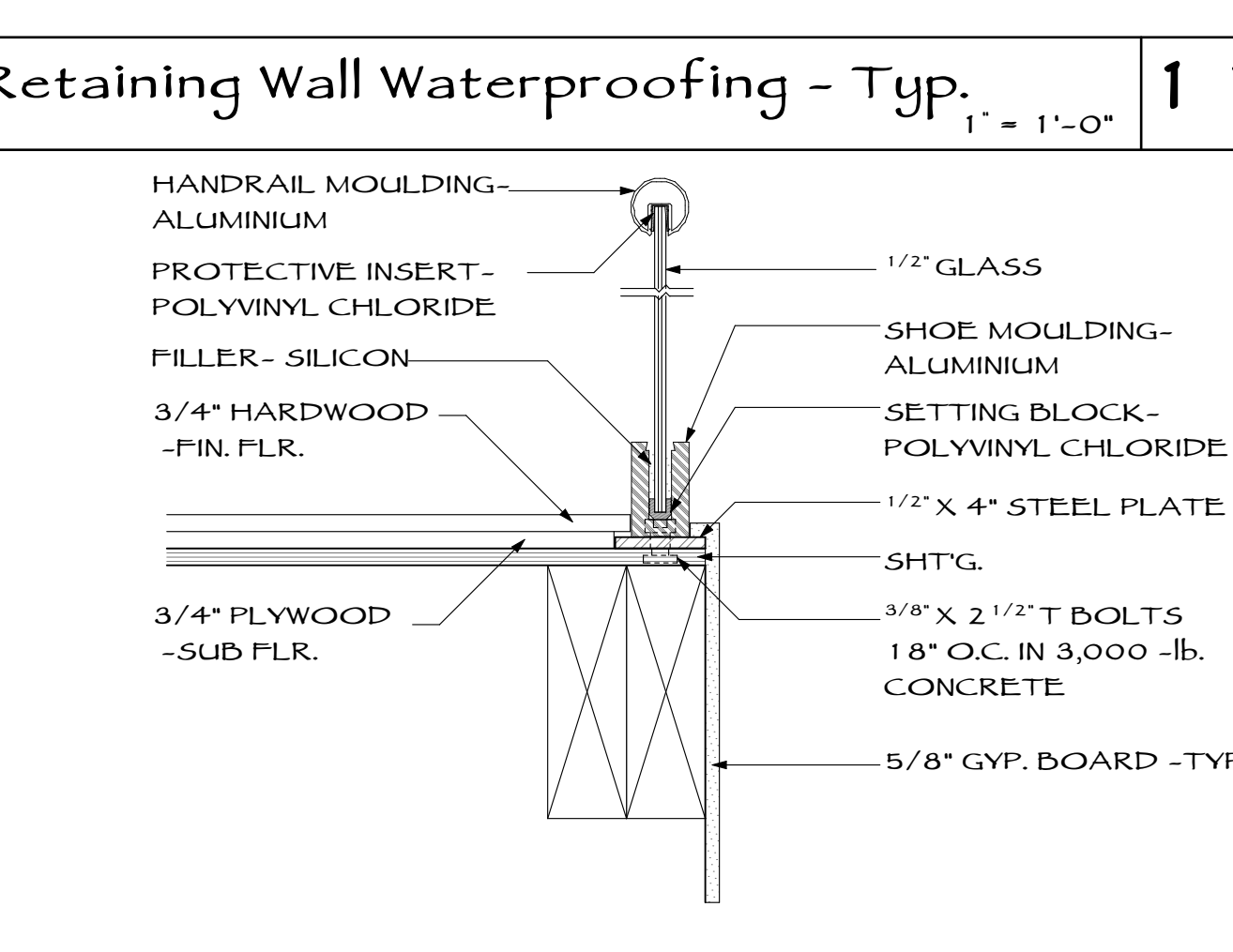
Handrail - Typical 1 1/2" = 1'-0" 8



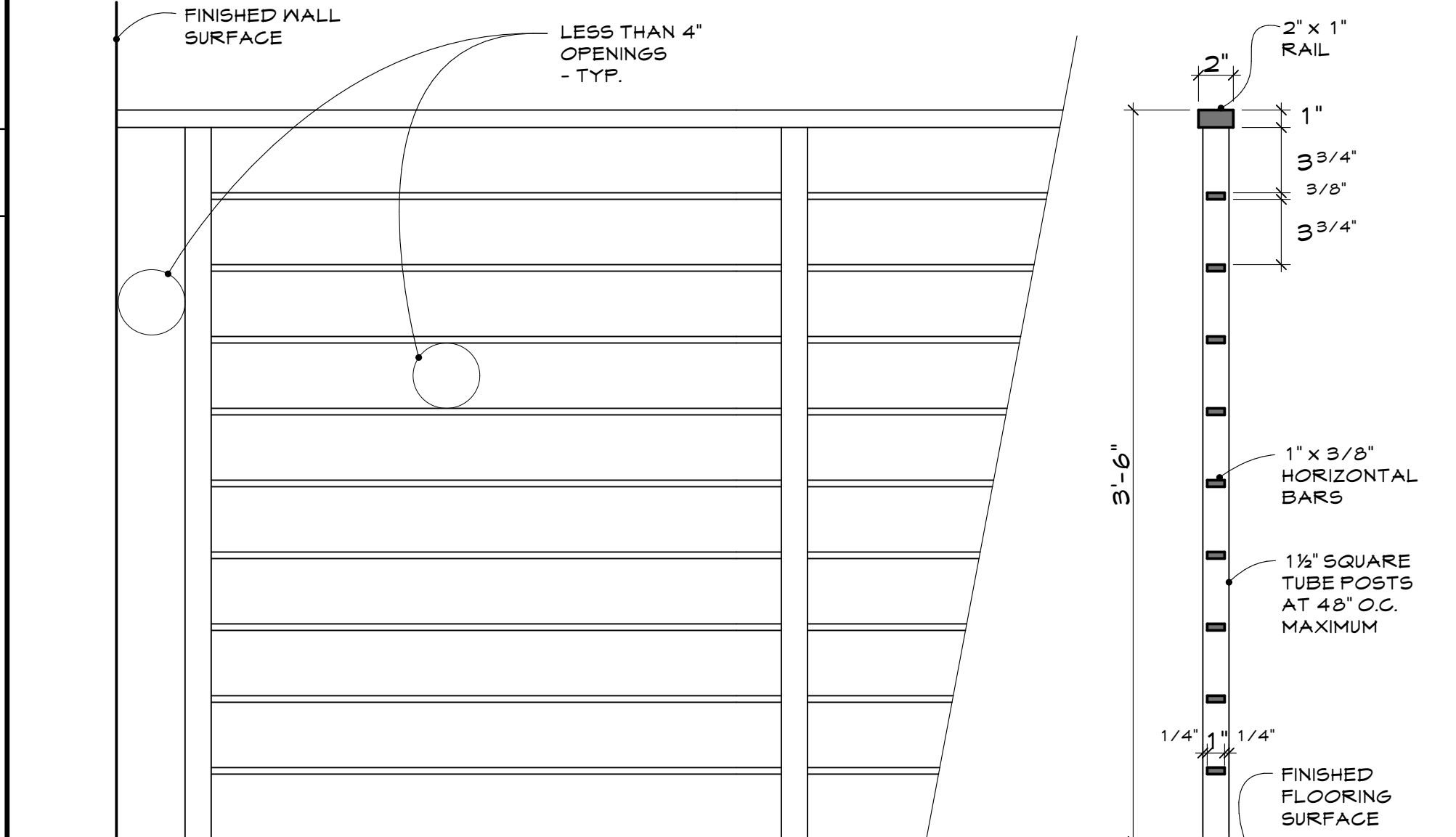
Handrail - Typical 3" = 1'-0" 5



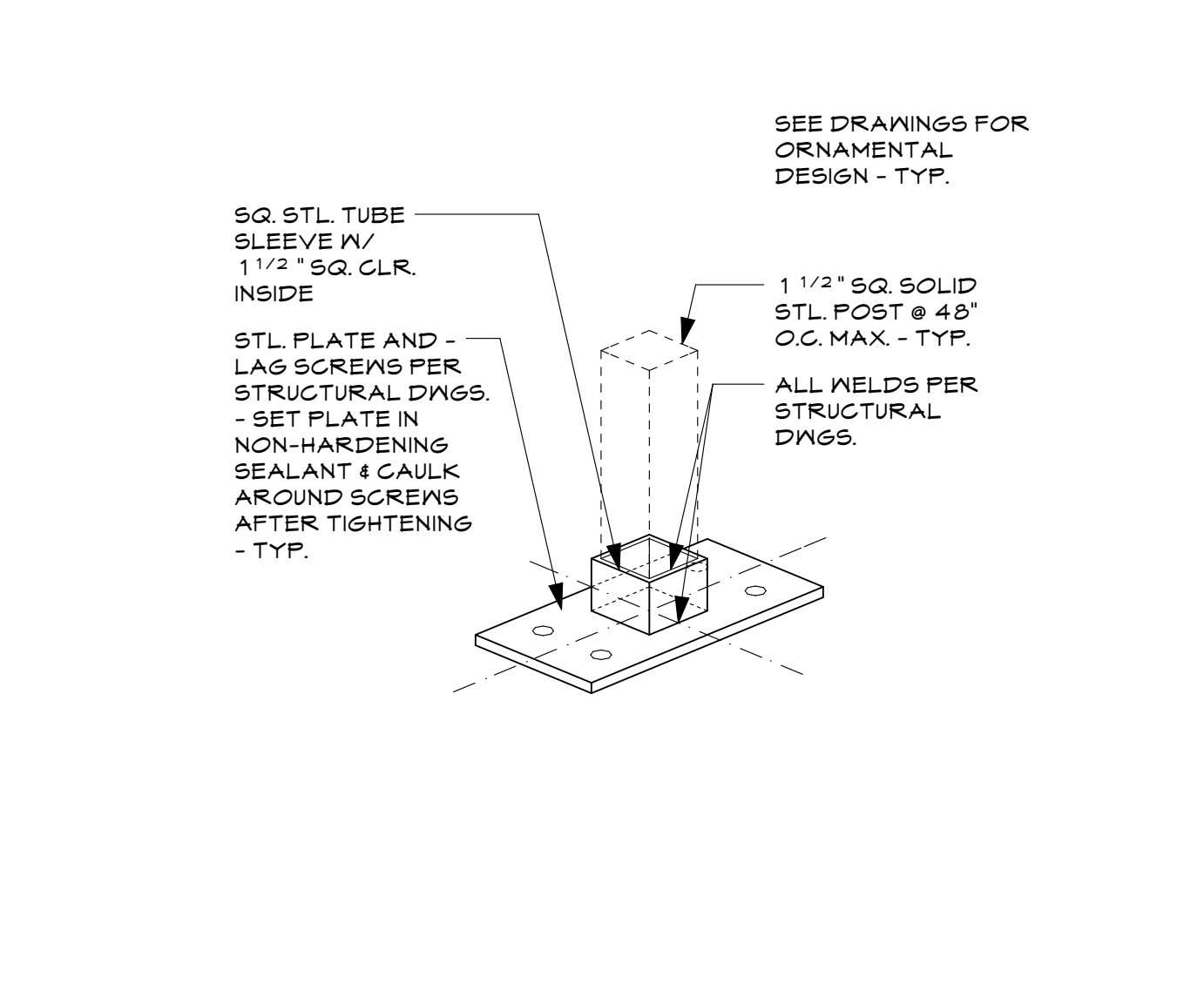
Deck at Wall - Typical 1 1/2" = 1'-0" 2



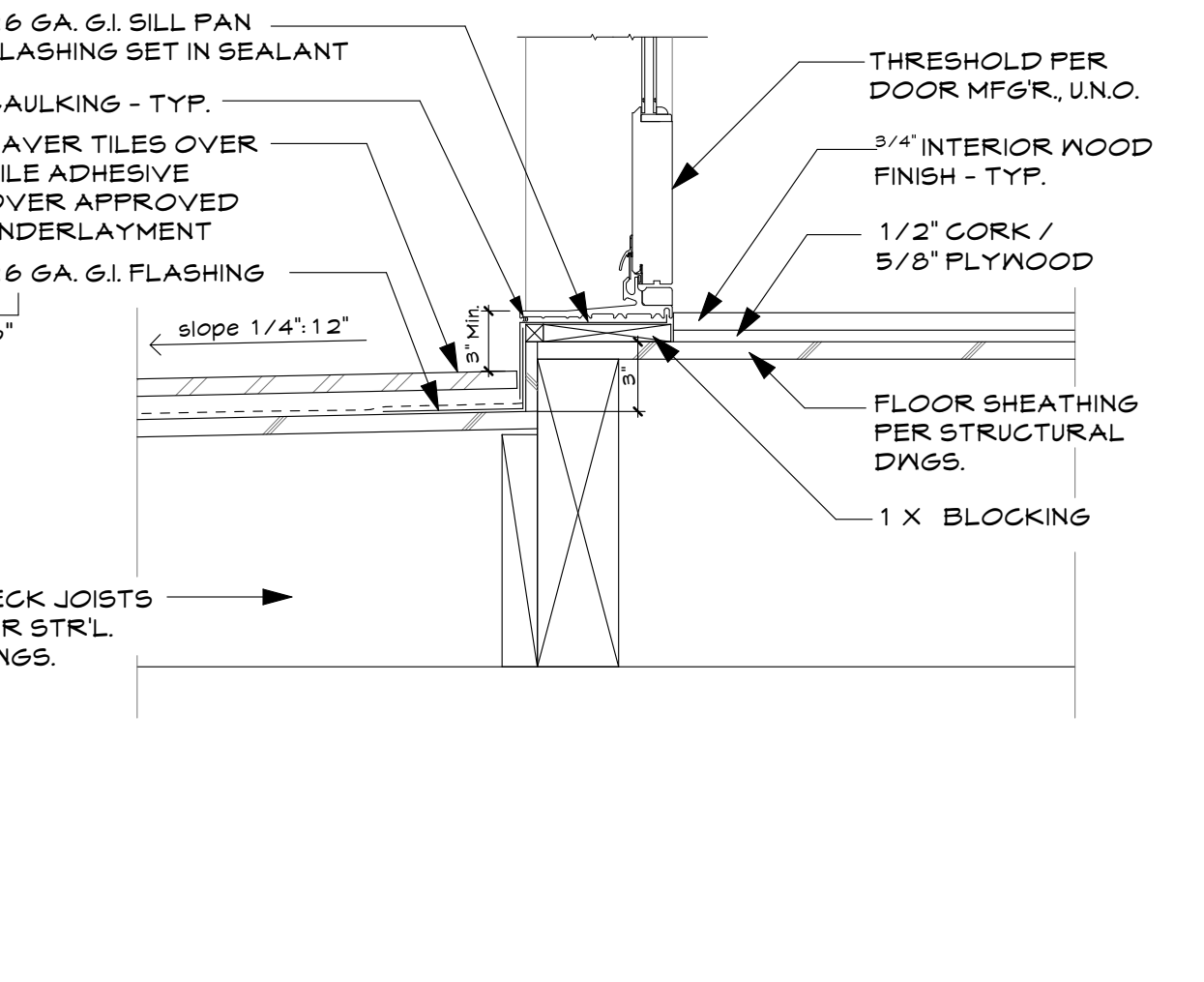
Glass Railing 1 1/2" = 1'-0" 12



Guardrail - Similar 1 1/2" = 1'-0" 9



Guardrail Post - Typical 3" = 1'-0" 6



Deck at Threshold - Typical 1 1/2" = 1'-0" 3

Permit Date
 Project
HUNTLEY APARTMENTS
 723 Huntley Drive,
 West Hollywood, CA 90069
 Owner
 Farid & Marjan Mir
 8885 Venice Blvd. # 200
 Los Angeles, CA 90034

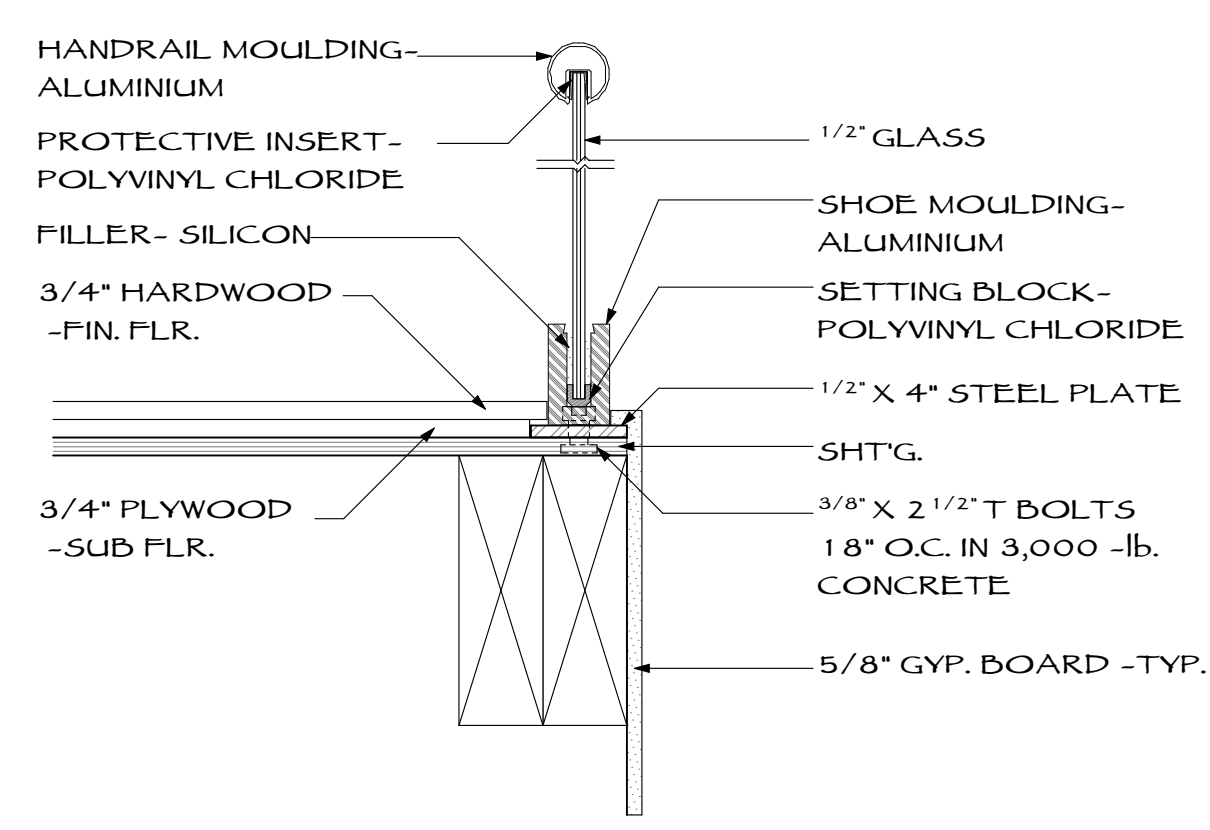
SIA
 architectural design
 20230 Wells Drive
 Woodland Hills, CA 91364
 t: 818-704-0667
 f: 818-704-0760
 www.siaarchdesign.com

© 2010 SIA
 All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.
 SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

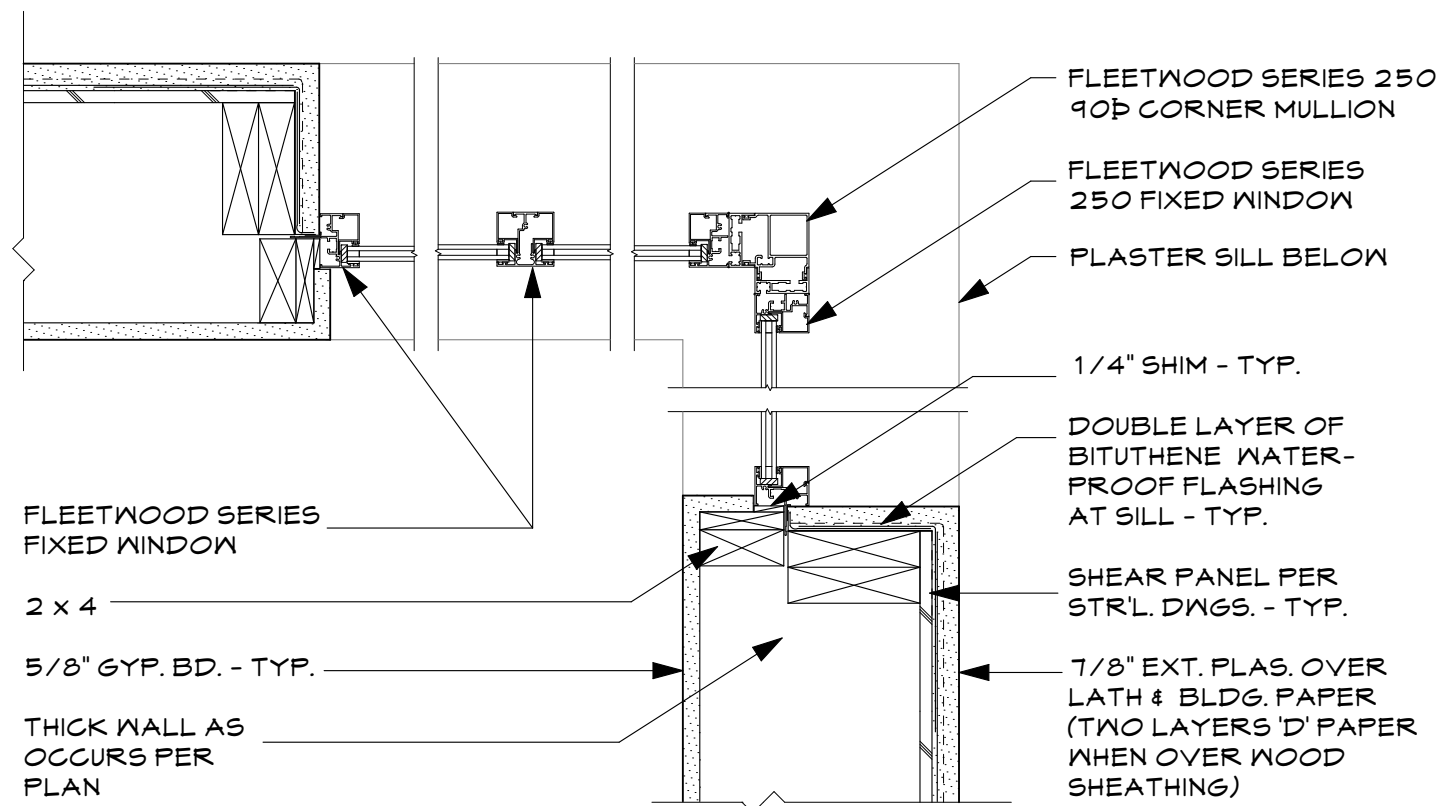
ARCHITECTURAL DETAILS
 10/9/2014
 scale:
 prepared by: R.d.S
 job #: 2013-184

AD-2

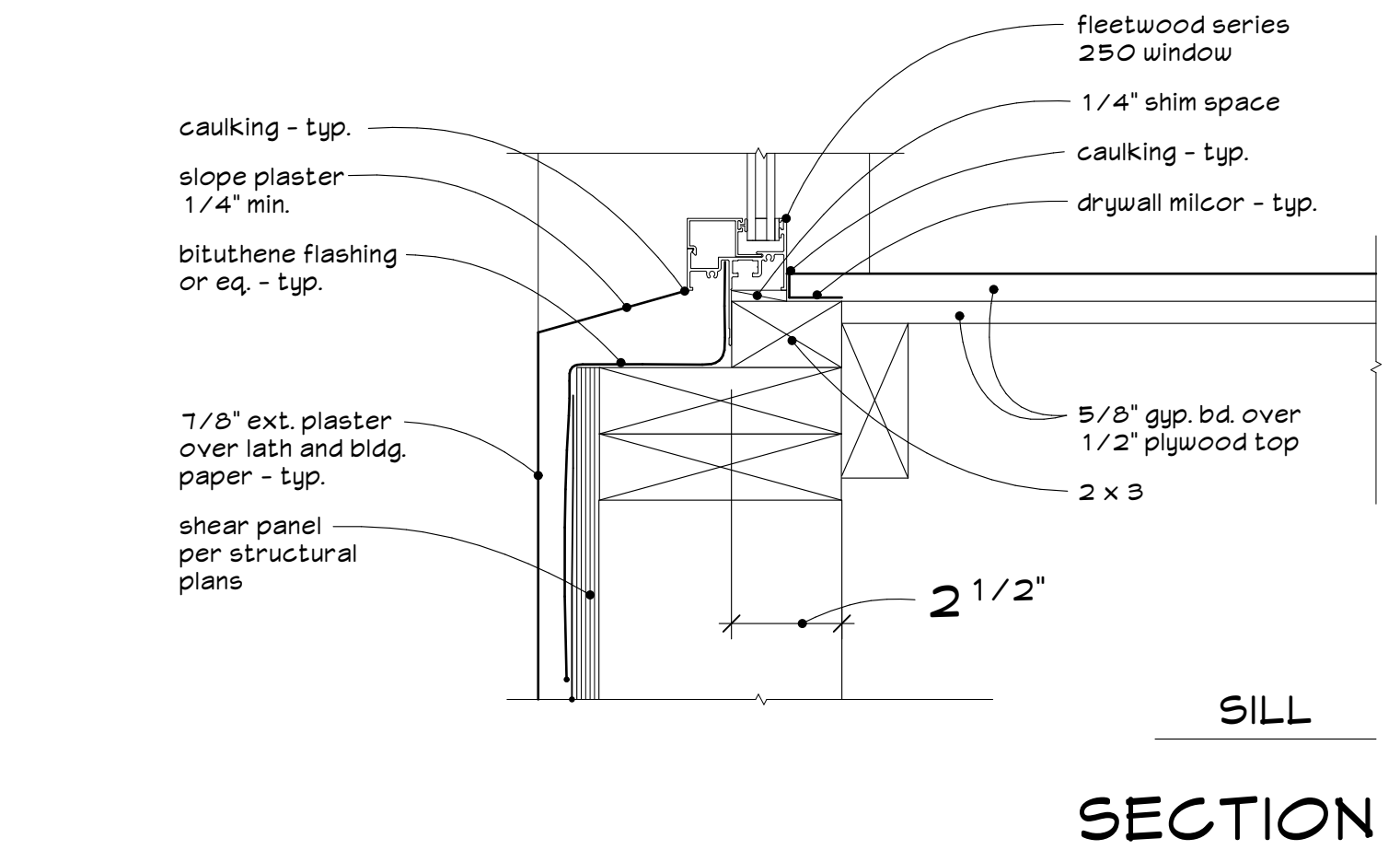
NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



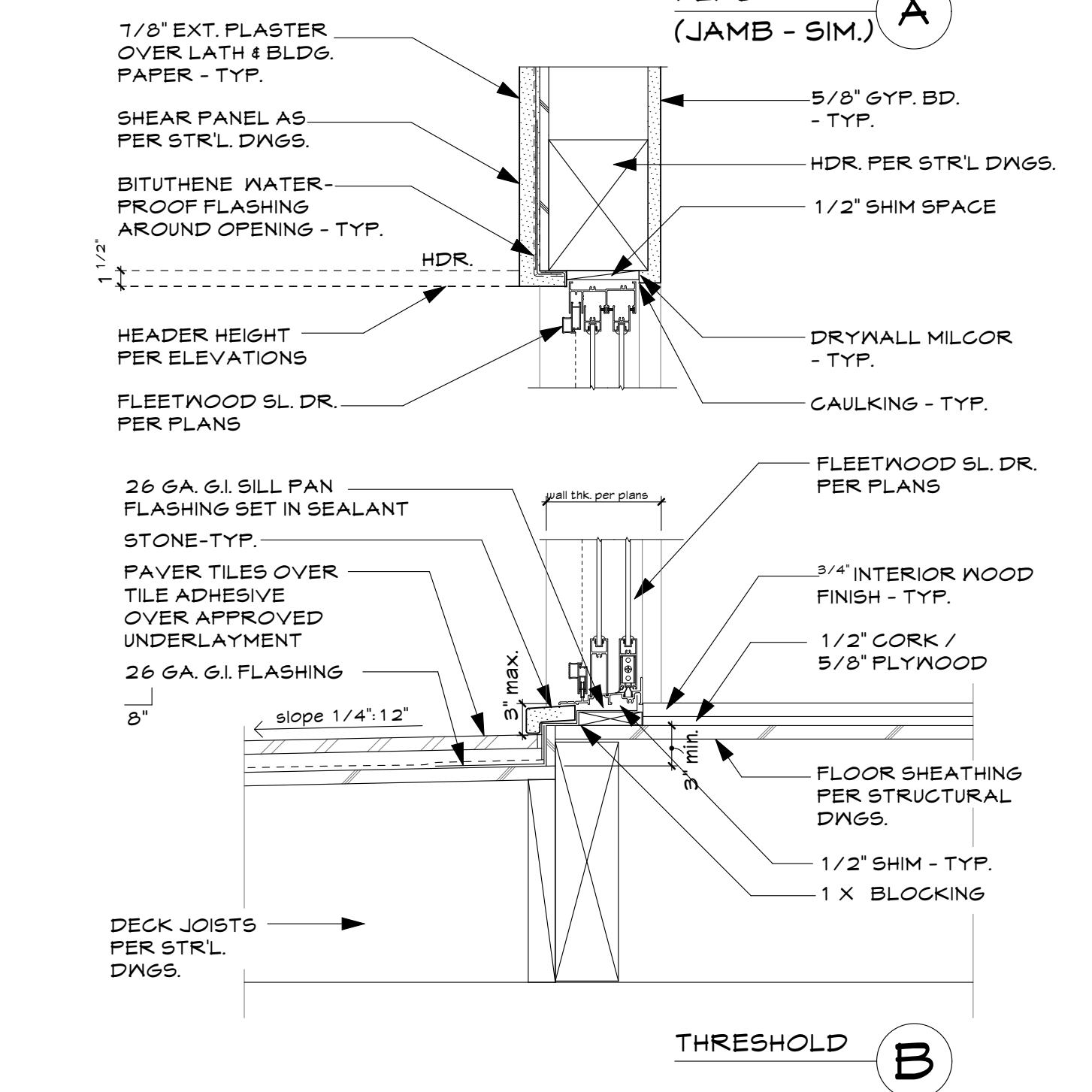
Glass Guardrail - Typical 1 1/2" = 1'-0" **10**



Corner Window 1 1/2" = 1'-0" **7**



Window Sill @ Counter Board 3" = 1'-0" **4**



Sliding Glass Door - Typical 1 1/2" = 1'-0" **1**

LA DBS INFORMATION BULLETIN / PUBLIC - PLUMBING CODE
 REFERENCE NO. 94.510.5 Effective: 4-01-98
 DOCUMENT NO. P/PC 2002-003 Pre-issued As: IB Plumbing Revised: 6-14-99

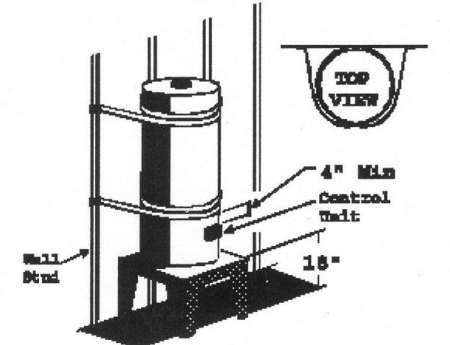
HOW TO BRACE YOUR WATER HEATER

Water heaters must be strapped in at least two locations, one being in the upper one-third of the unit, and the other in the lower one-third. The lower strap must be a minimum of 4" above the water heater control unit. The required clearances from wall to heater as stated on the unit nameplate is critical. Lag screws not less than 1/4" in diameter must be used to anchor the restraints to the wall, and each lag screw must have at least 1-1/2" thread penetration into wall stud. A large flat washer must be installed between each lag screw and the strap for reinforcement.

The State of California requires that all water heaters be strapped to resist motion during an earthquake. This may be accomplished by installing an over the counter "water heater restraint" kit approved by the Office of State Architect (O.S.A.).

NOTE: Perforated iron strap (plumber's tape) will not be an acceptable method for strapping or bracing water heaters over 40 gallons.

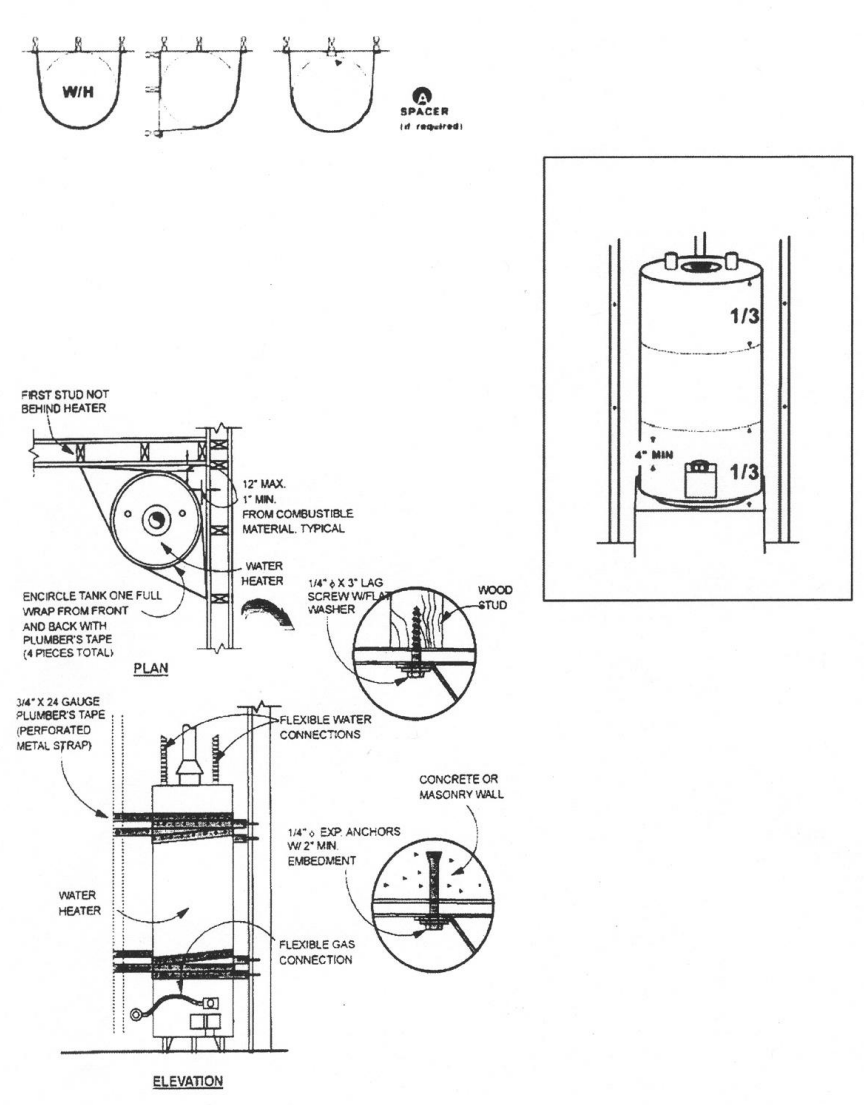
Example (wrap-around straps):



Drill pilot holes on centerline of stud (both sides of heater), insert screws through punched holes in strap. Use washers. Use minimum 22 Gauge X 3/4" wide metal strap.

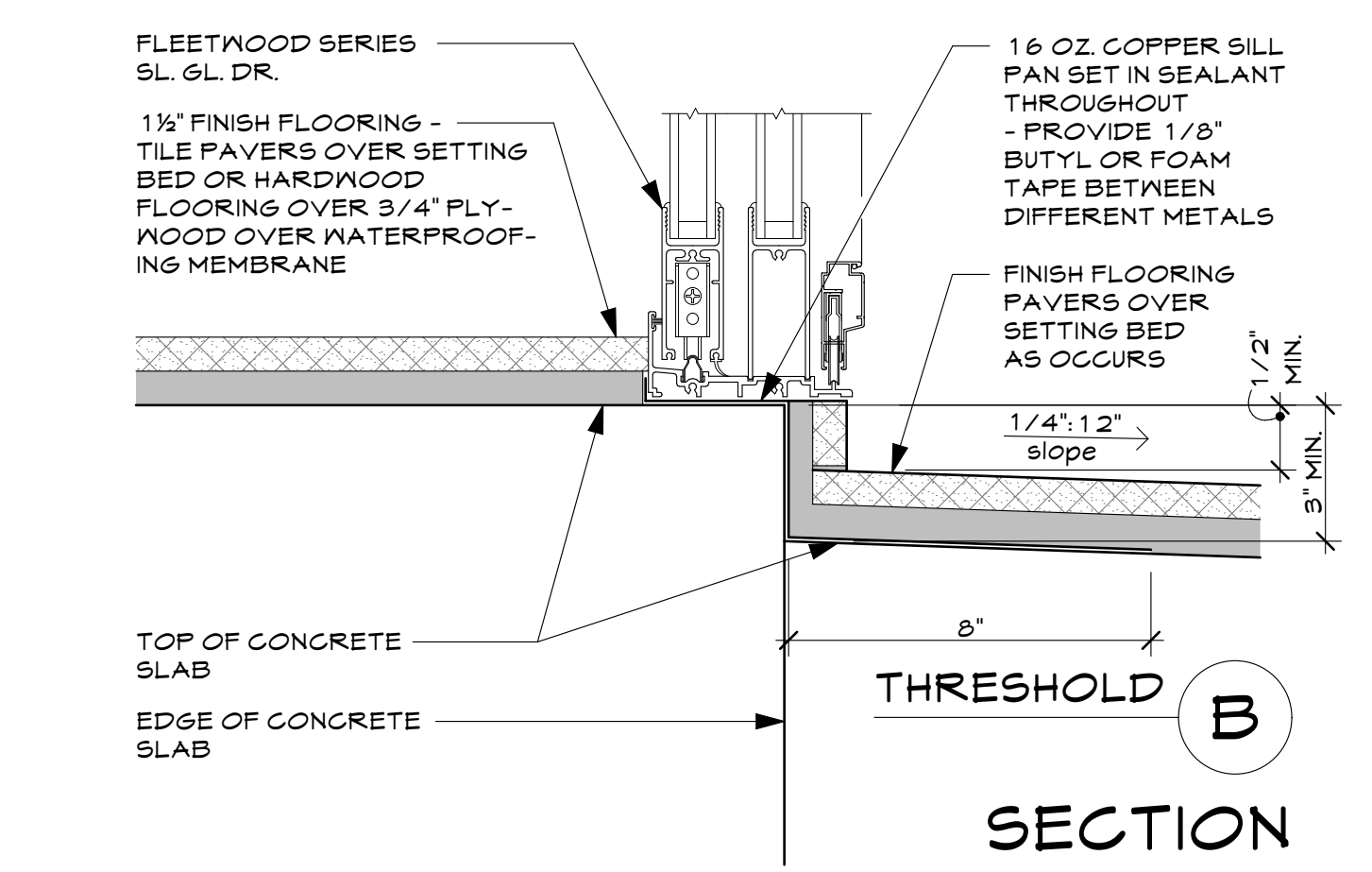
As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodations to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to the new format of code related and administrative information including MOD and RGA that were previously issued will also allow flexibility and timely distribution of information to the public.

LA DBS P/PC 2002-003 Page 1 of 2

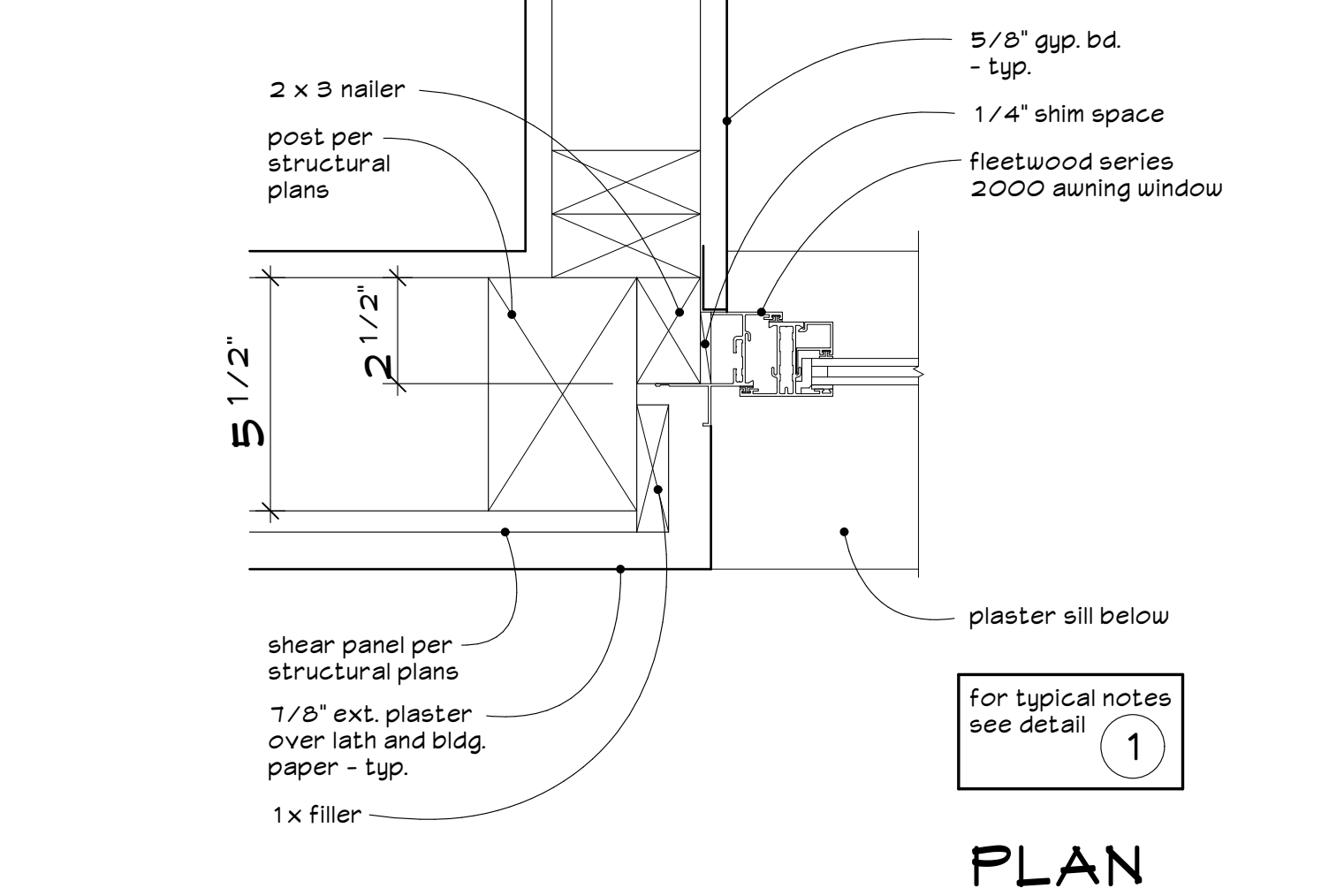


As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodations to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to the new format of code related and administrative information including MOD and RGA that were previously issued will also allow flexibility and timely distribution of information to the public.

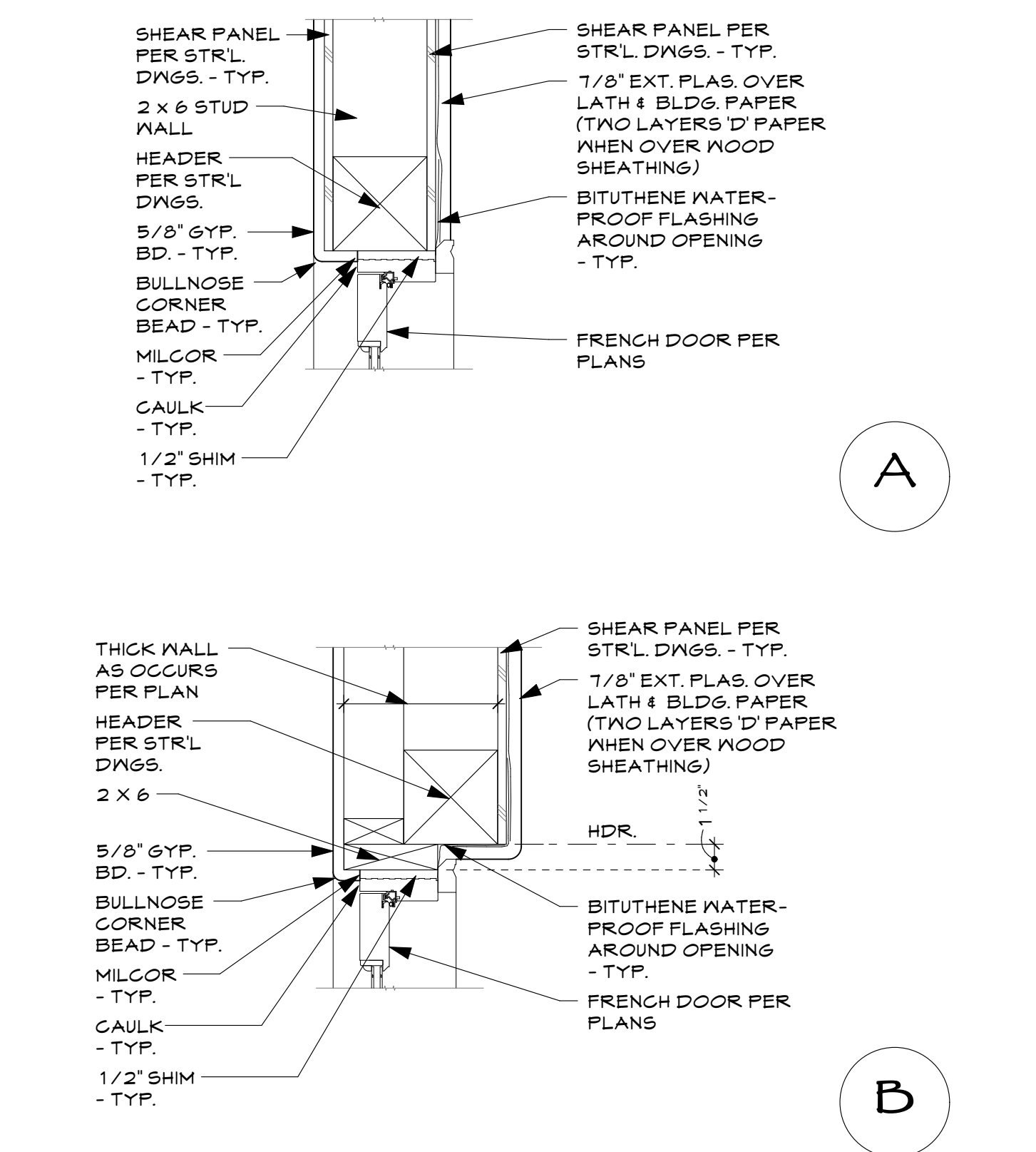
Water Heater Bracing - Typical N.S. **11**



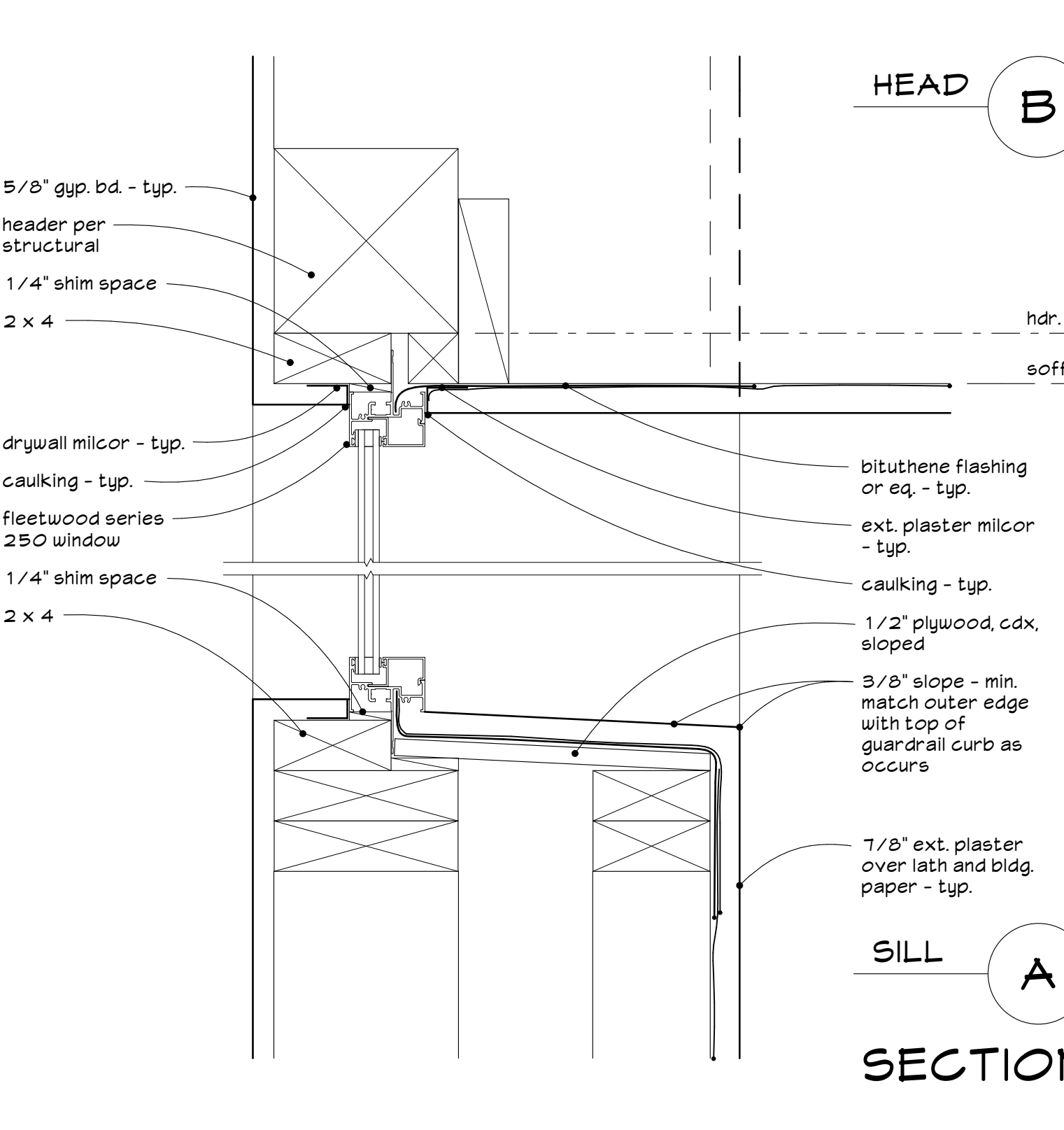
Sliding Glass Door Threshold @ Conc. Slab 3" = 1'-0" **8**



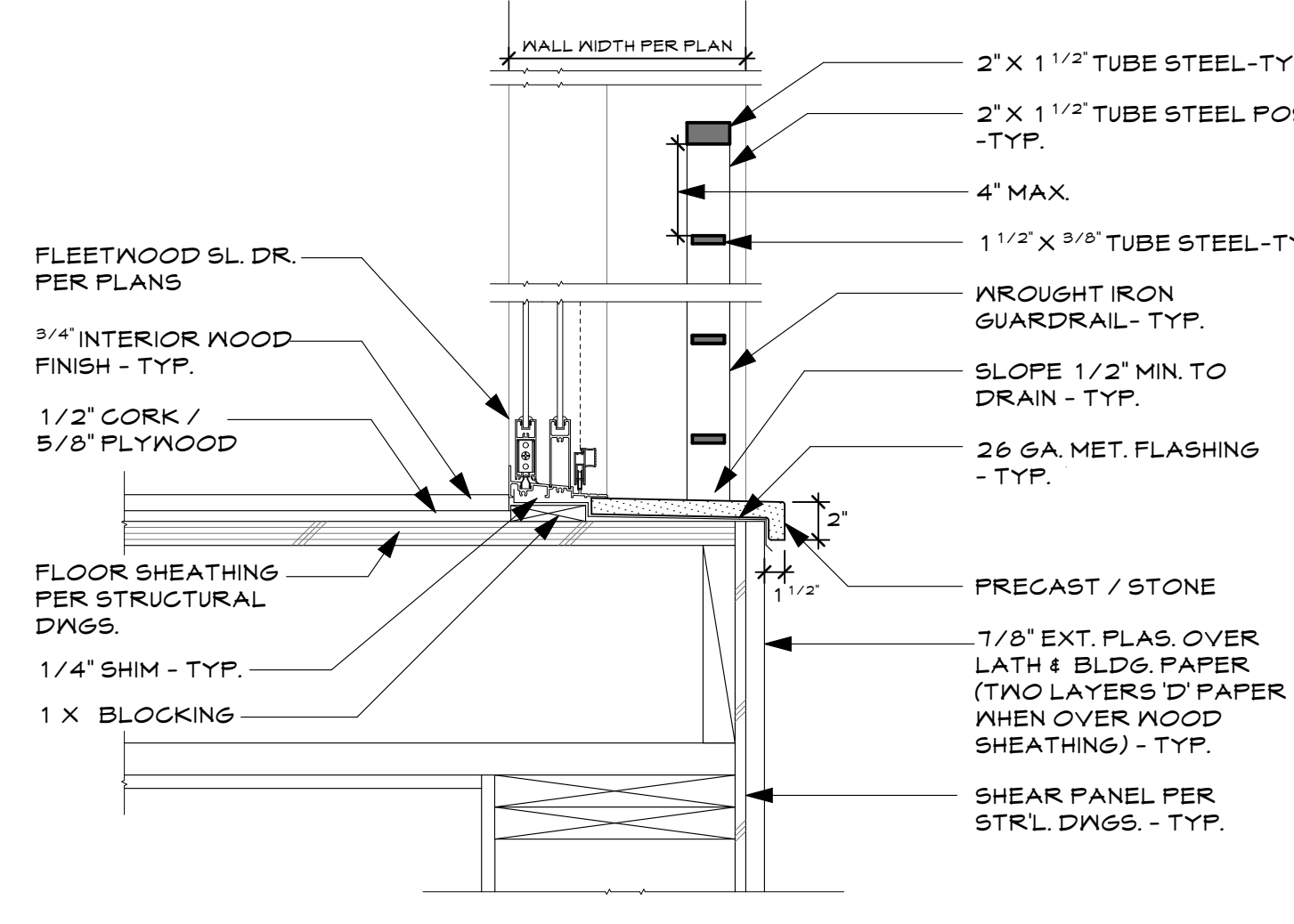
Window Jamb 3" = 1'-0" **5**



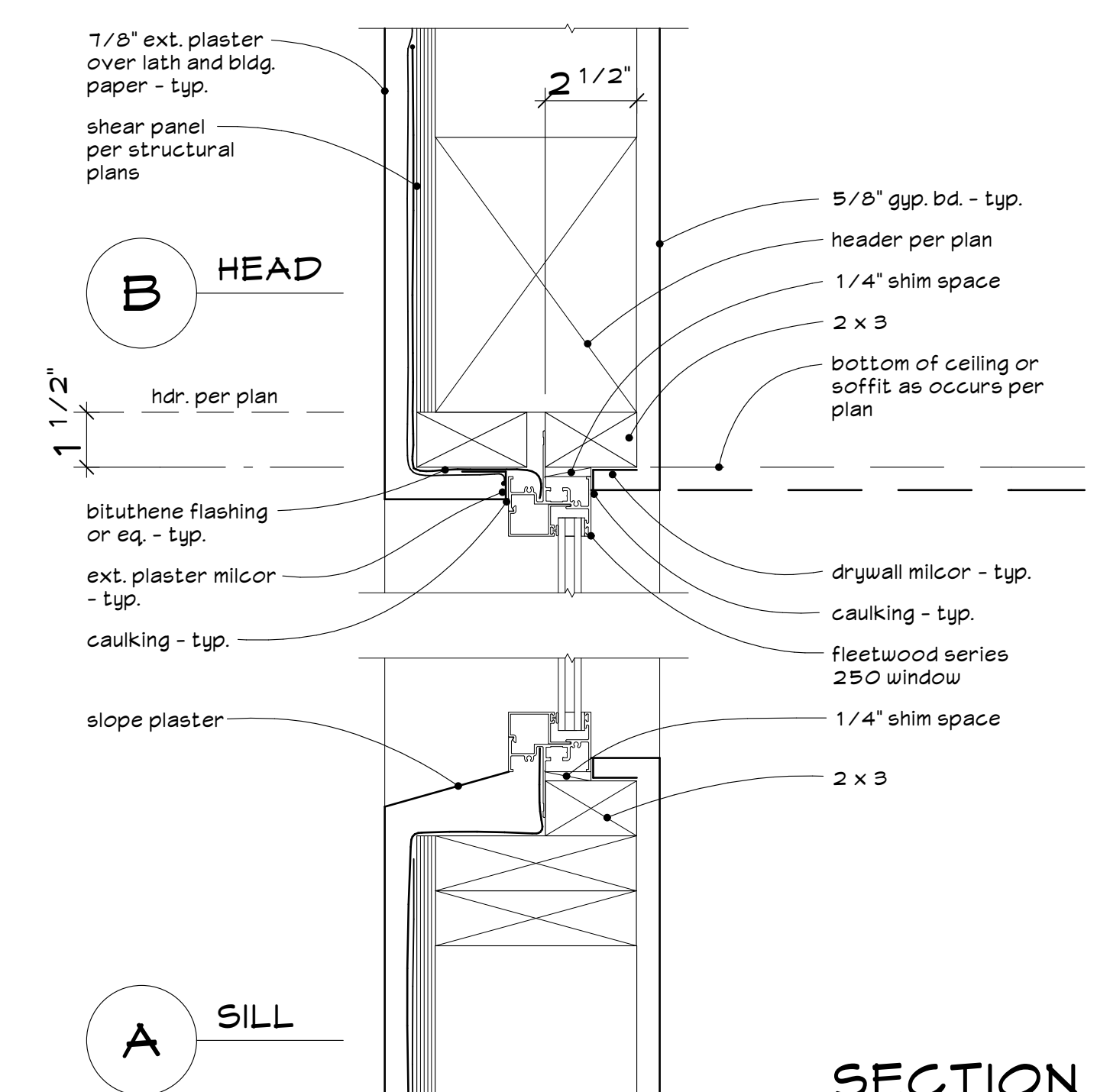
Door Head/Jamb Similar 1 1/2" = 1'-0" **9**



Window Head & Sill 3" = 1'-0" **6**



Sliding Glass Door Threshold @ Edge 1 1/2" = 1'-0" **2**



Window Head, Jamb Sim. & Sill 3" = 1'-0" **3**

Permit Date

Project

HUNTLEY APARTMENTS
 723 Huntley Drive,
 West Hollywood, CA 90067

Owner

Farid & Marjan Mir
 8885 Venice Blvd. # 200
 Los Angeles, CA 90034



20230 Wells Drive
 Woodland Hills, CA 91364
 t: 818-704-0667
 f: 818-704-0760
 www.siaarchdesign.com

© 2010 SIA

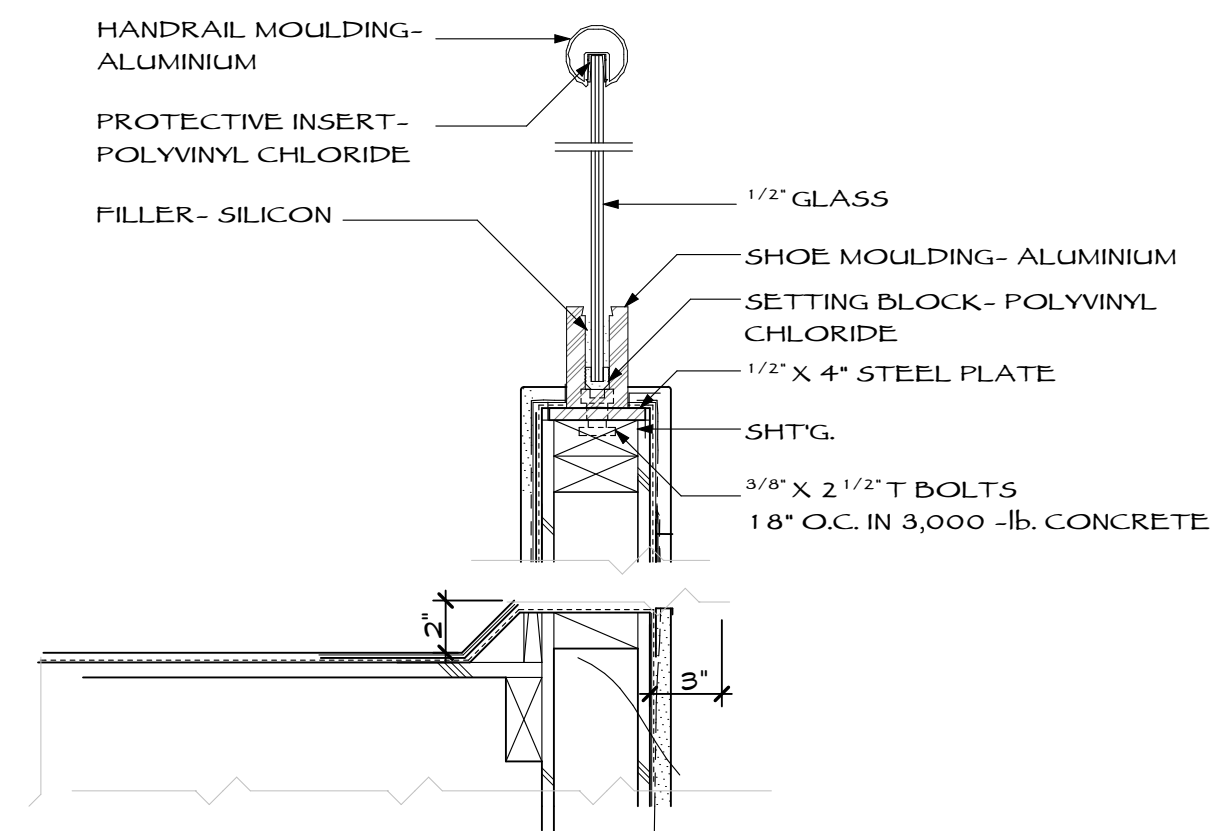
All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA. SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

ARCHITECTURAL DETAILS

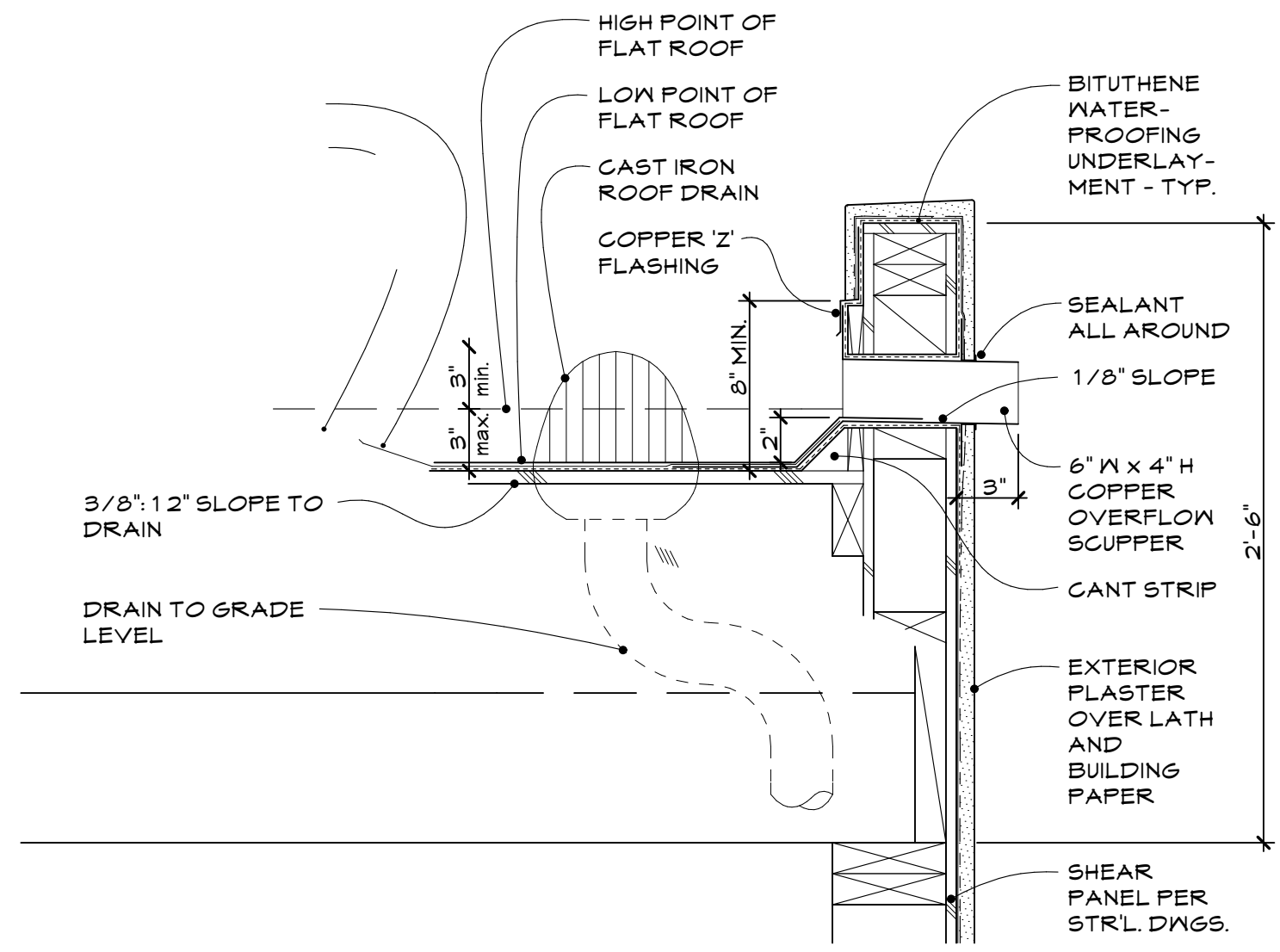
10/9/2014
 scale:
 prepared by: R.d.S
 job #: 2013-184

AD-3

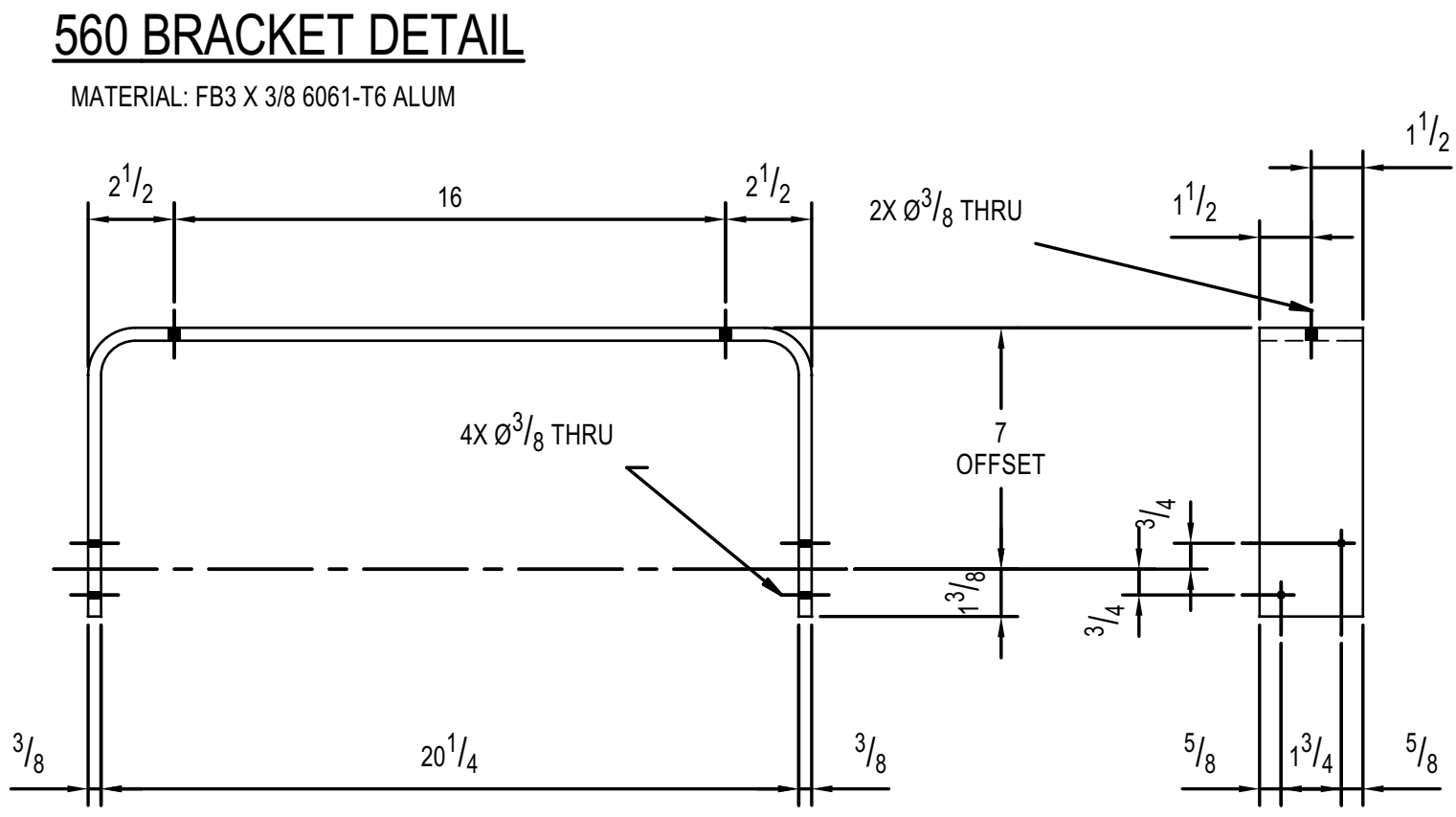
NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



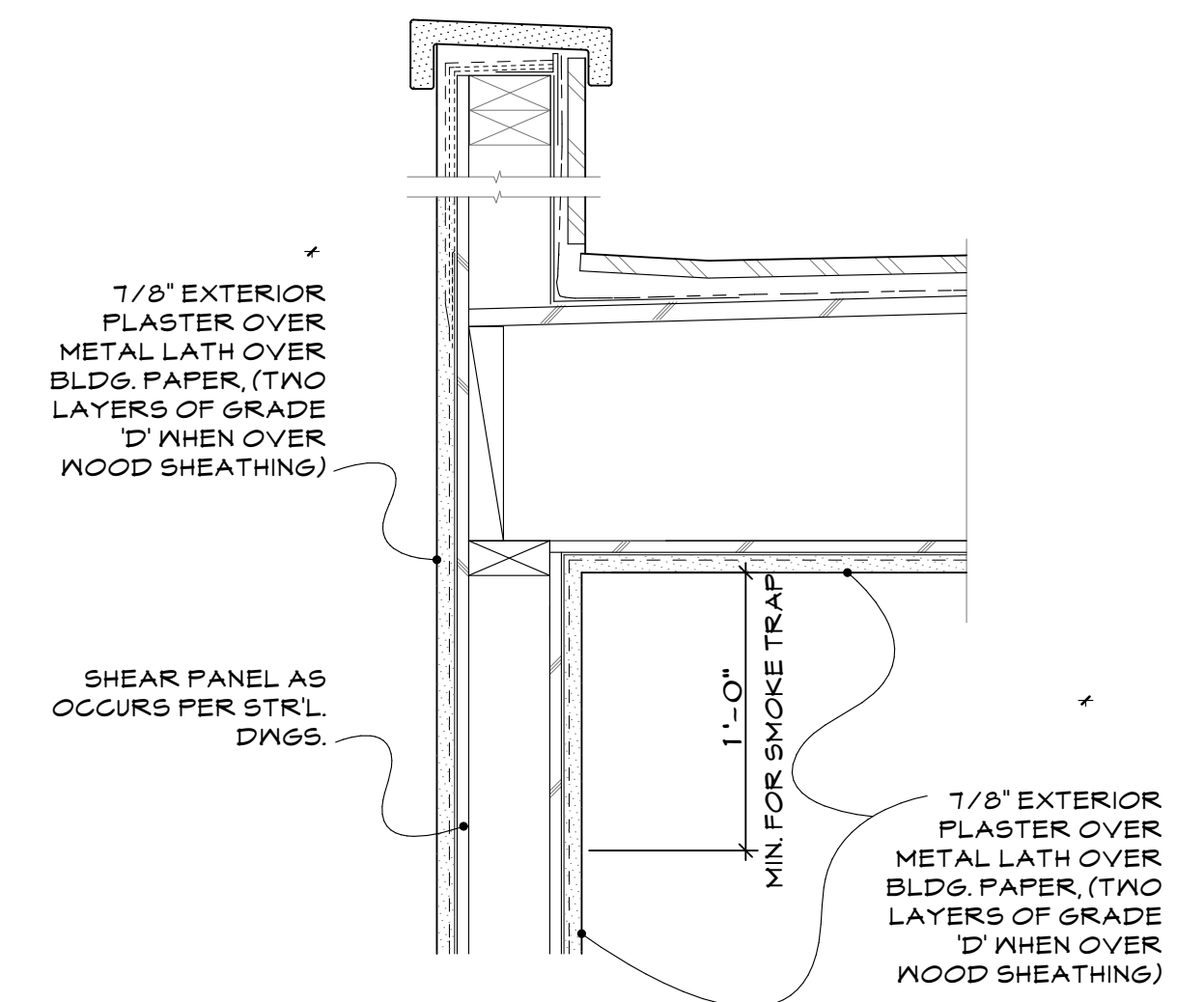
Glass Railing Detail 1 1/2" = 1'-0" 4



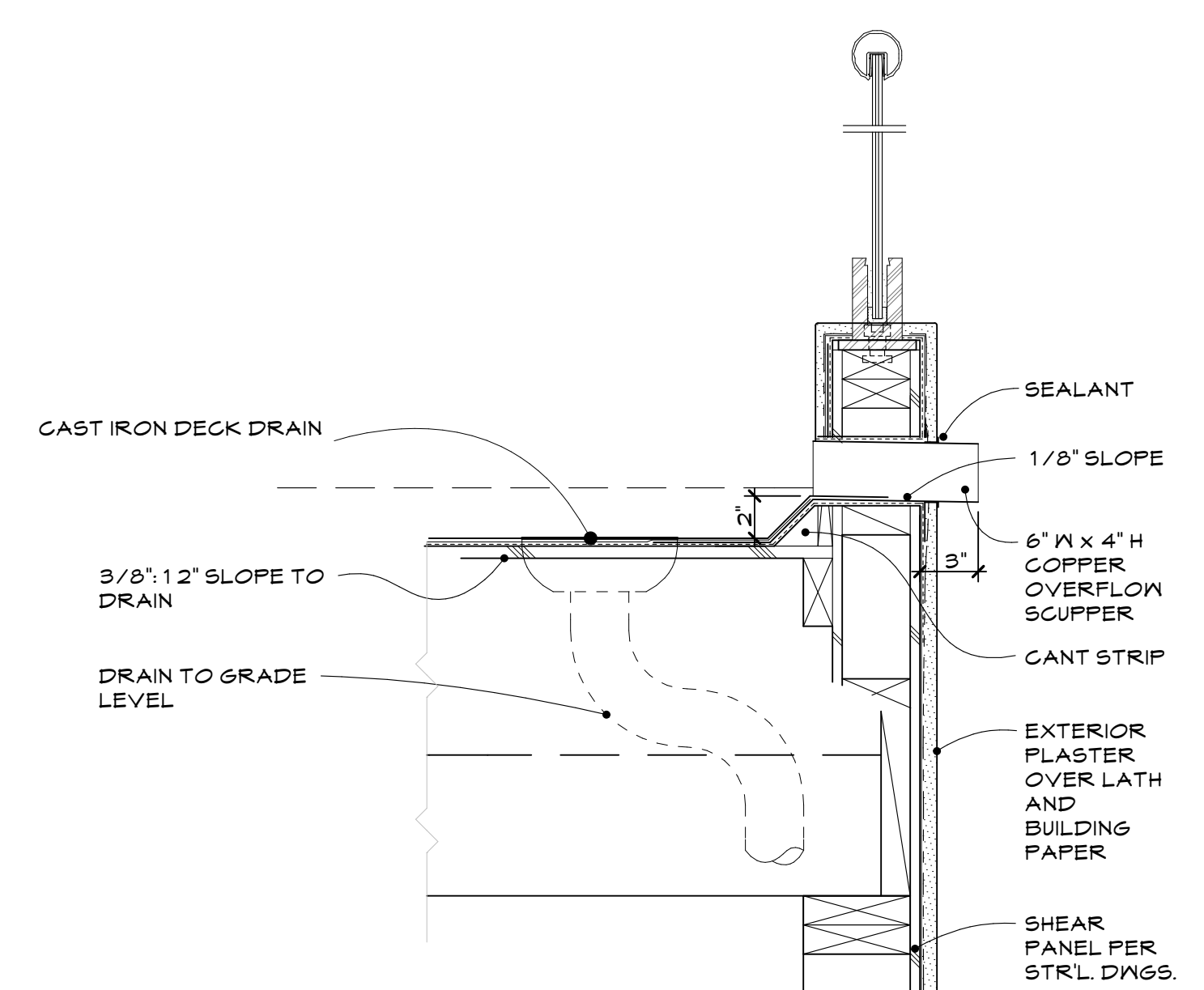
Roof Drain Detail 1 1/2" = 1'-0" 1



Ladder Bracket Detail N.T.S 5



Port Cochere Smoke / Heat Trap 1 1/2" = 1'-0" 2



Deck Drain Detail 1 1/2" = 1'-0" 3

Permit Date

Project

HUNTLEY APARTMENTS
723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA 91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA
All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA.
SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional's guidance with ambiguities, or conflicts which are alleged.

ARCHITECTURAL DETAILS

10/9/2014
scale:
prepared by: R.d.S
job #: 2013-184



Project

HUNTLEY APARTMENTS

723 Huntley Drive,
West Hollywood, CA 90069

Owner

Farid & Marjan Mir
8885 Venice Blvd. # 200
Los Angeles, CA 90034



20230 Wells Drive
Woodland Hills, CA
91364
t: 818-704-0667
f: 818-704-0760
www.siaarchdesign.com

© 2010 SIA

All designs, ideas, arrangements and plans indicated or represented by this drawing are owned by, and are the property of the SIA and were created, evolved and developed for use on, and in connection with the specified project. Arrangements or plans shall neither be used on any other work nor be disclosed to any other person, firm or corporation for any use whatsoever without written permission of SIA. SIA and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the professional guidance with ambiguities, or conflicts which are alleged.

MATERIAL & COLOR BOARD

10/9/2014

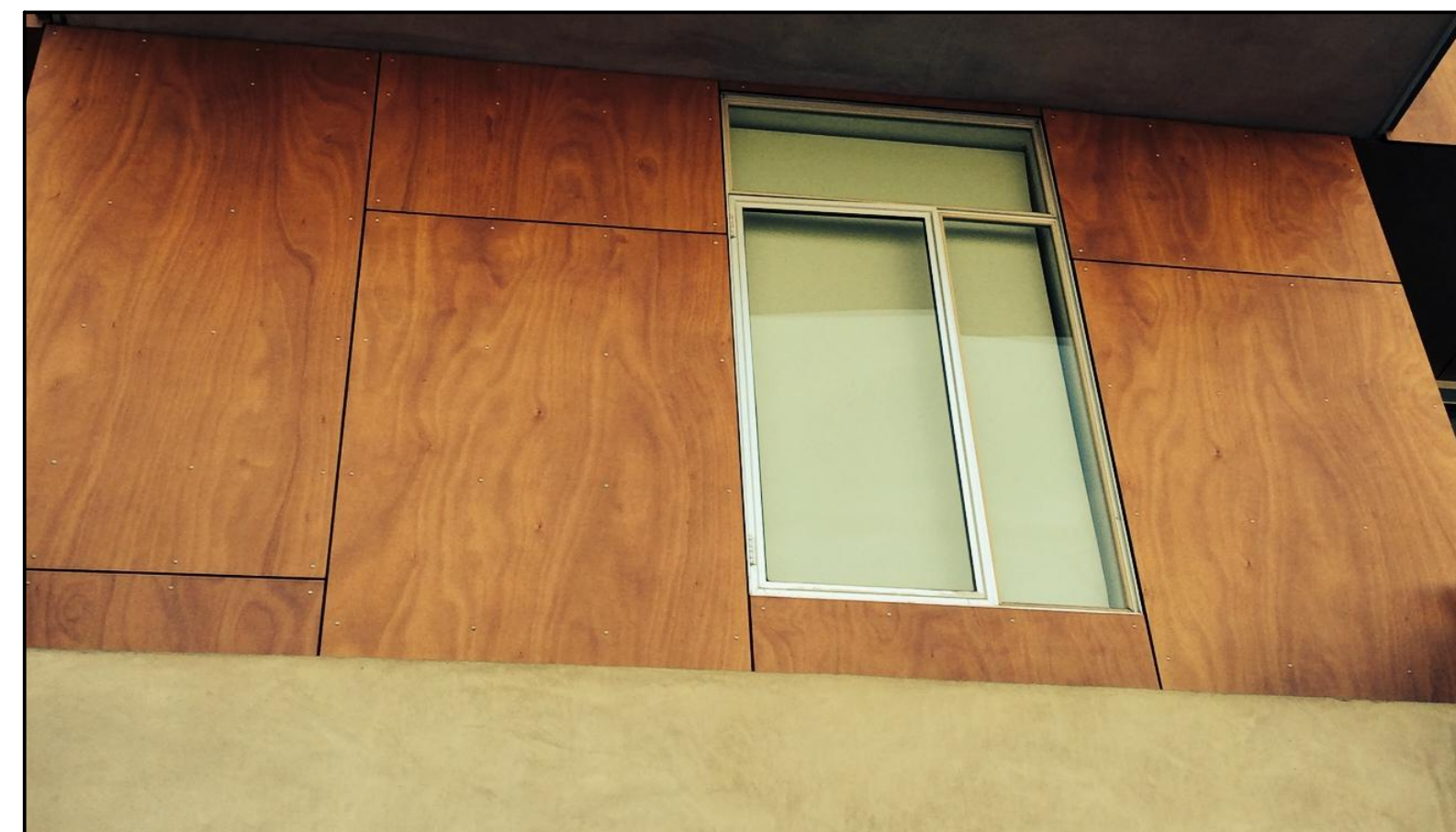
scale:

prepared by: RdS

job #: 2013-184

Dunn Edwards
DE6239 "Latte Froth"

Dunn Edwards DE6242
"Wells Grey"



Wood Veneer